

TREE PRESERVATION / REMOVAL 08/25/2021

Tree #	No. of trees	Botanical Name	Common name	DBH cm	Height m	Crown Ø (m)	Maturity	Health conditions	Recommended Action	
414	1	<i>Thuja occidentalis</i>	Eastern White Cedar	~20	8	6	Mature	Fair	Multi-Stem	Remove
414	1	<i>Juglans nigra</i>	Black Walnut	30	14	10	Mature	Fair		Remove
415	1	<i>Thuja occidentalis</i>	Eastern White Cedar	~25	10	8	Mature	Fair	Multi-Stem	Remove
415	1	<i>Thuja occidentalis</i>	Eastern White Cedar	26	8	8	Mature	Fair		Remove
415	1	<i>Thuja occidentalis</i>	Eastern White Cedar	~15	8	6	Mature	Fair-Poor	Multi-Stem, leaning towards driveway with dieback	Remove
416	1	<i>Acer negundo</i>	Manitoba Maple	~10	6	6	Mature	Poor	Multi-Stem, previously cut	Remove
417	1	<i>Juglans nigra</i>	Black Walnut	52	16	11	Mature	Good		Remove
418	1	<i>Picea spp.</i>	Spruce					Dead		Remove
418	1	<i>Acer platanoides</i>	Norway Maple	21+19	12	9	Mature	Fair	Forked at 5m	Remove
419	1	<i>Juglans nigra</i>	Black Walnut	48	16	8	Mature	Fair		Remove
420	1	<i>Acer platanoides</i>	Crimson King Maple	48	12	10	Mature	Fair-Poor	Dieback	Remove
421	2	<i>Picea abies</i>	Norway Spruce	50,42	18	10	Mature	Fair	Spaced at 5m	Remove
422	2	<i>Picea abies</i>	Norway Spruce	62,47	18	10	Mature	Fair	Spaced at 2m	Remove
423	1	<i>Picea abies</i>	Norway Spruce	81	18	10	Mature	Fair		Remove
423	1	<i>Picea abies</i>	Norway Spruce	56	18	10	Mature	Fair		Remove
423	1	<i>Picea abies</i>	Norway Spruce	47	18	10	Mature	Fair		Remove
423	1	<i>Picea abies</i>	Norway Spruce	66	18	10	Mature	Fair		Remove
423	1	<i>Picea abies</i>	Norway Spruce	54	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	34	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	40	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	59	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	49	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	49	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	55	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	50	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	55	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	17	18	10	Inature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	44	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	35	18	10	Mature	Fair		Remove
424	1	<i>Picea abies</i>	Norway Spruce	19	18	10	Inature	Fair		Remove
425	1	<i>Picea abies</i>	Norway Spruce	65	18	10	Mature	Fair		Remove
425	1	<i>Picea abies</i>	Norway Spruce	36	18	10	Mature	Fair		Remove
425	1	<i>Picea abies</i>	Norway Spruce	23	18	10	Mature	Fair		Remove
425	1	<i>Picea abies</i>	Norway Spruce	34	18	10	Mature	Fair		Remove
425	1	<i>Picea abies</i>	Norway Spruce	27	18	10	Mature	Fair		Remove
425	1	<i>Picea abies</i>	Norway Spruce	46	18	10	Mature	Fair		Remove
425	1	<i>Picea abies</i>	Norway Spruce	43	18	10	Mature	Fair		Remove
425	1	<i>Picea abies</i>	Norway Spruce	45	18	10	Mature	Fair		Remove
506	1	<i>Trembling Aspen</i>	Populus tremuloides	5	3	2	Inature	Fair		Transplant
507	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Fair		Transplant
508	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Fair		Transplant
509	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Fair		Transplant
510	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Fair		Transplant
511	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Fair		Transplant
512	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Fair		Transplant
513	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Fair		Transplant
514	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Poor	back injuries	Preserve
515	1	<i>Acer rubrum</i>	Red Maple	5	3	2	Inature	Poor	back injuries	Preserve
521	1	<i>Acer x sp.</i>	Maple sp.	12	4	2	Inature	Fair-poor	back injuries	Preserve
522	1	<i>Acer x sp.</i>	Maple sp.	10	4	2	Inature	Fair-poor	back injuries	Preserve
523	1	<i>Acer x sp.</i>	Maple sp.	5	3	2	Inature	Fair		Preserve



KEY MAP N.T.S.

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR ALL LOCATES INCLUDING ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION OR INSTALLATIONS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.

ANY ACCOMPANYING DOCUMENTATION RELATING TO THE LANDSCAPE PLAN AND/OR PRESERVATION PLAN SUCH AS TENDER DOCUMENTS AND CHANGE NOTICES ARE TO BE ENDORSED BY JDB ASSOCIATES LIMITED PRIOR TO THE BEGINNING OF ANY SITE WORKS. IN THE EVENT THAT A DISCREPANCY THE DRAWING SHALL BE ASSUMED CORRECT.

IT IS THE RESPONSIBILITY OF THE PERSON OR PERSONS RESPONSIBLE FOR THE CONSTRUCTED WORKS TO NOTIFY THE LANDSCAPE ARCHITECT WHEN PREPARED FOR ANY REQUIRED INSPECTIONS AND SIGN OFFS.

SCHEDULED MEETINGS SHALL TAKE PLACE AT THE CLOSEST MUTUALLY CONVENIENT TIME.

No.	REVISION	DATE	APRVD.
1.	CLIENT REVIEW	December 2, 2021	SJT
2.	SUBMISSION FOR SPA	December 15, 2021	SJT
3.	REVISED AS PER UPDATED ROOF PLAN	February 23, 2022	MC
4.	REVISED AS PER TOWN AND LSICA COMMENTS	April 14, 2022	SJT

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BASE PLAN REVISED: March 5, 2021

ACCEPTED BY: _____

DATE: _____

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MEMBER
ASSOCIATION OF LANDSCAPE ARCHITECTS OF ONTARIO

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BWG 151 SIMCOE RD.
BRADFORD WEST GWILLIMBURY, ON

TOWN OF BRADFORD WEST GWILLIMBURY

SCALE:	DATE:	DESIGNED BY:	REVIEWED BY:
1:250	September 2021	SJT	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	TP-1
	33-21	SJT	

TREE INVENTORY & PRESERVATION PLAN

--- SUBJECT LANDS. REFER TO SITE PLAN.

#2 EXISTING TREE NUMBER

EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE TRANSPLANTED (LP-2)

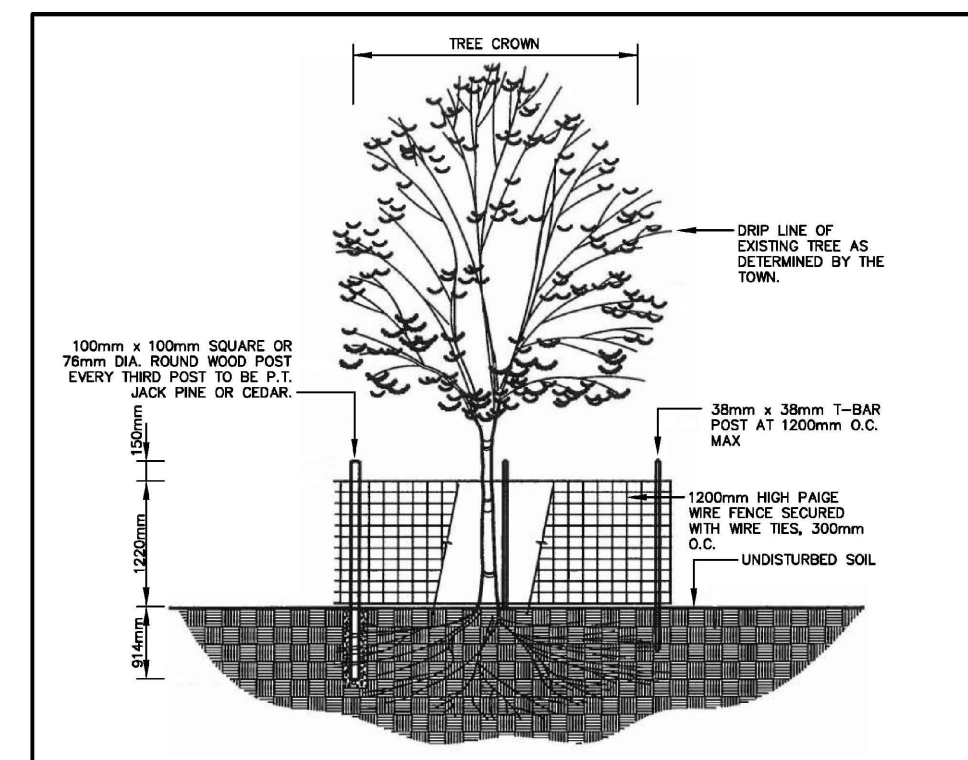
TREE PROTECTION ZONE

EXISTING TREE TO BE PRESERVED

--- LIMIT OF DISTURBANCE. REFER TO GRADING PLAN.

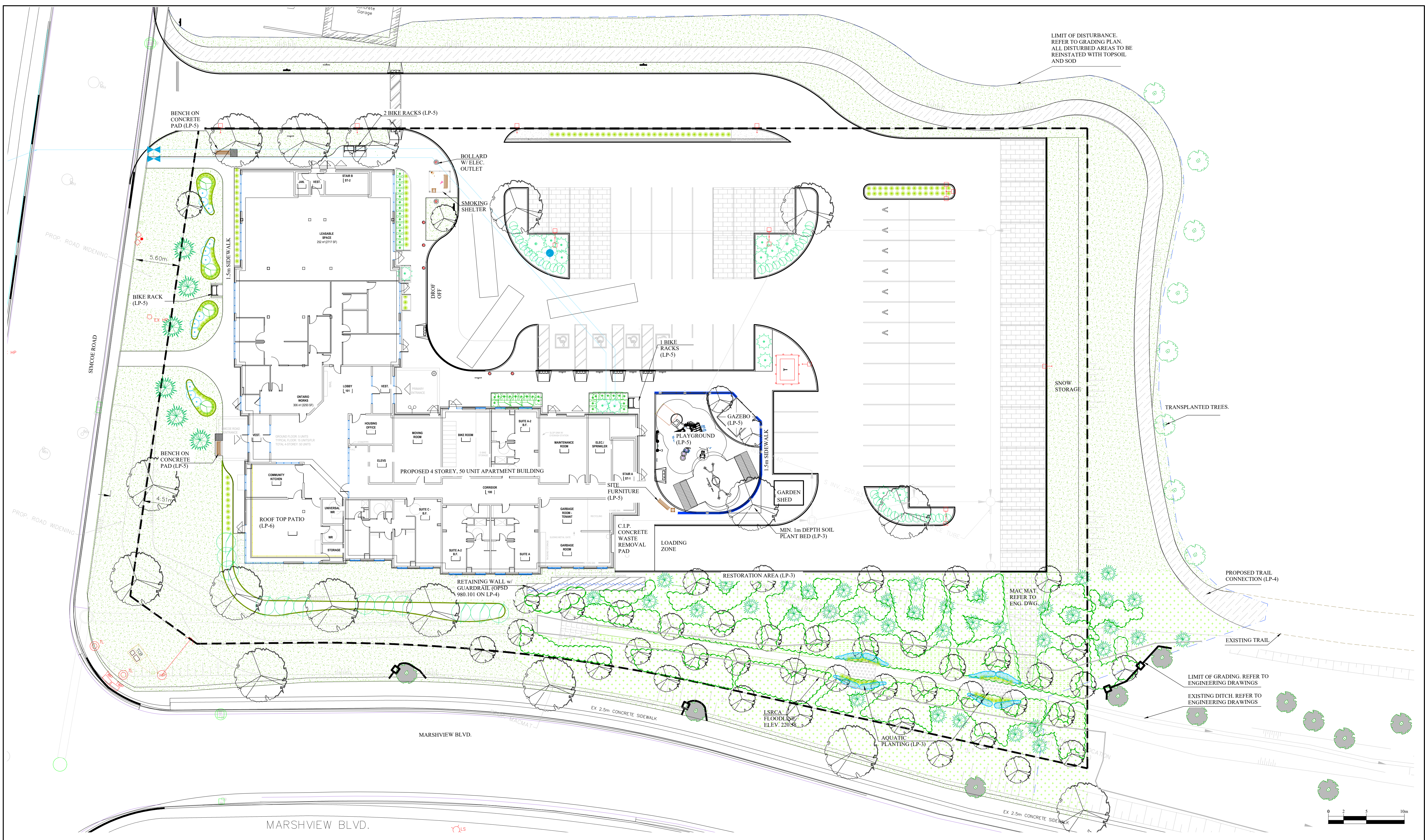
--- TREE PRESERVATION FENCE. REFER TO DETAIL H102

LEGEND



- NOTES:
- EXISTING TREES SHALL BE PROPERLY PROTECTED WITHIN THE DRIP LINE WITH TEMPORARY FENCING AS PER THE APPROVED LANDSCAPE PLAN UNTIL PRELIMINARY ACCEPTANCE.
 - MAINTAIN EXISTING GRADE WITHIN DRIP LINE OF ALL TREES TO BE PRESERVED.
 - THE AREA WITHIN THE PROTECTED FENCING SHALL REMAIN UNDISTURBED AND FREE OF DEBRIS, BUILDING MATERIALS AND EQUIPMENT.
 - PRUNE DEAD WOOD ONLY UNLESS DIRECTED OTHERWISE BY THE TOWN. DO NOT PRUNE LEADERS. ALL CUTS GREATER THAN 25mm DIAMETER SHALL BE TREATED WITH APPROVED DRESSING AT THE DISCRETION OF THE TOWN.
 - WATERING AND FERTILIZING PROGRAM SHALL BE MAINTAINED TO THE SATISFACTION OF THE TOWN.
 - THE COST OF REPLACING DEAD AND SEVERELY DAMAGED TREES, AS DETERMINED BY THE TOWN, SHALL BE BORNE BY THE DEVELOPER AND/OR GENERAL CONTRACTOR. THE SPECIES AND SIZE(S) MUST BE APPROVED BY THE TOWN.
- ALL DIMENSIONS IN mm UNLESS OTHERWISE SPECIFIED.

TOWN OF BRADFORD WEST GWILLIMBURY
DATE: 08/25/2021
PROJECT: BWG 151 SIMCOE RD.
SHEET: H102



KEY MAP N.T.S.

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BASE PLAN REVISED: March 5, 2021

ACCEPTED BY:

DATE:

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Lloyd & Purcell

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LANDSCAPE CONCEPT PLAN

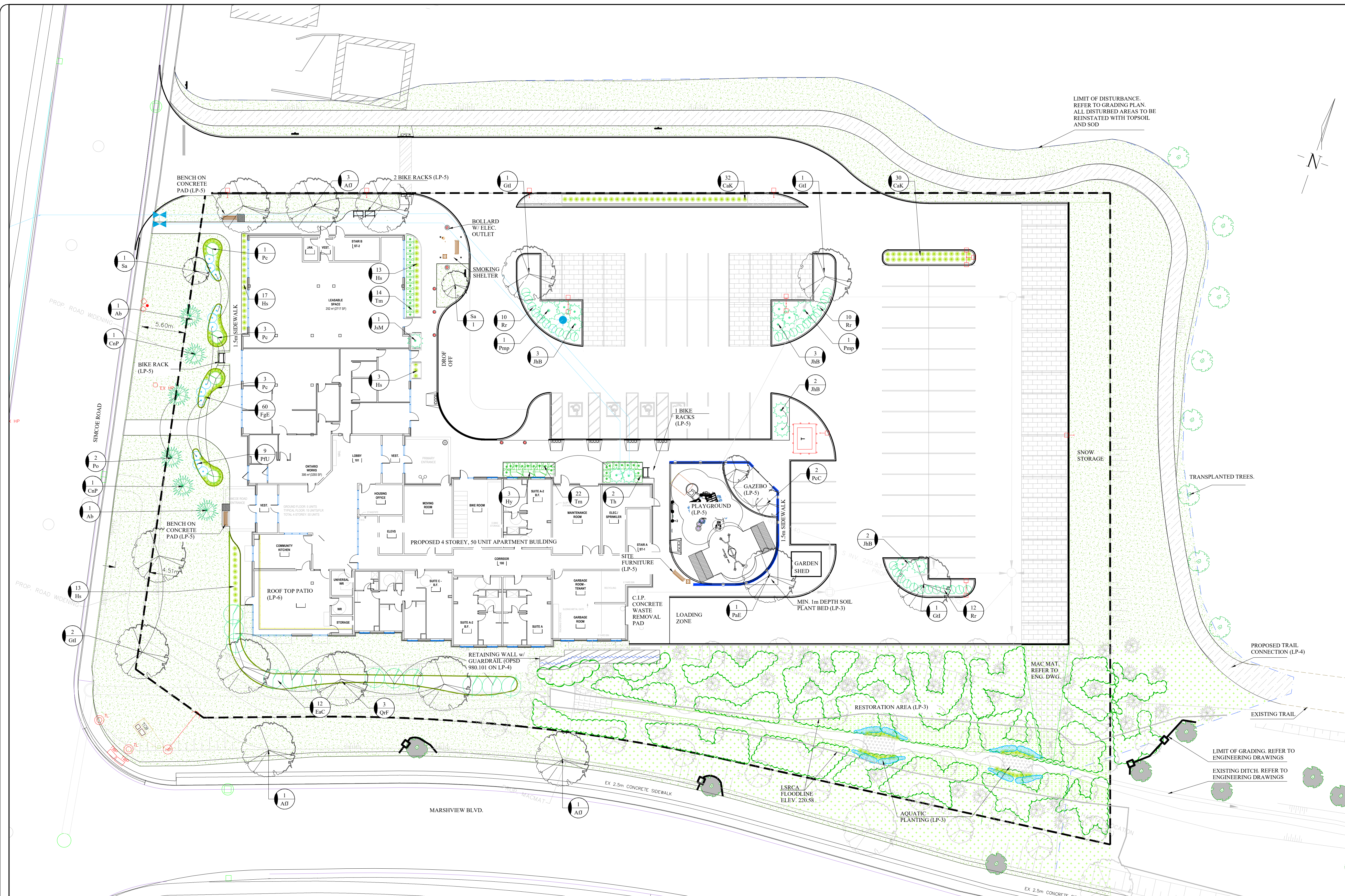
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CITY FILE No.	OUR FILE REF. #	DRAWN BY:	LP-1
	33-21	SJT	

LANDSCAPE CONCEPT PLAN

<ul style="list-style-type: none"> SUBJECT LANDS. REFER TO SITE PLAN. EXISTING TREE TO BE PRESERVED ORNAMENTAL FENCE. REFER TO DETAILS ON LP-4 PROPOSED DECIDUOUS TREES. REFER TO DETAILS ON LP-4 PROPOSED CONIFERS. REFER TO DETAILS ON LP-4 EVERGREEN HEDGE. REFER TO DETAILS ON LP-4 SHRUBS AND PERENNIALS. REFER TO DETAILS ON LP-4 ORNAMENTAL GRASSES. TRANSPLANTED TREES (TP & LP-2) 	<ul style="list-style-type: none"> PROPOSED SITE FURNITURE. REFER TO DETAILS ON LP-5 PROPOSED TRAIL. REFER TO DETAILS ON LP-5 NATIVE SEED MIX. REFER TO DETAILS ON LP-3 SOD. REFER TO NOTES ON LP-3 BIKE RACK. REFER TO DETAILS ON LP-5 LIMIT OF DISTURBANCE. REFER TO GRADING PLAN. TREE PRESERVATION FENCE. REFER TO DETAIL H102 GUARDRAIL. REFER TO OPSD 101 ON LP-4
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LEGEND

SCALE 1 : 250



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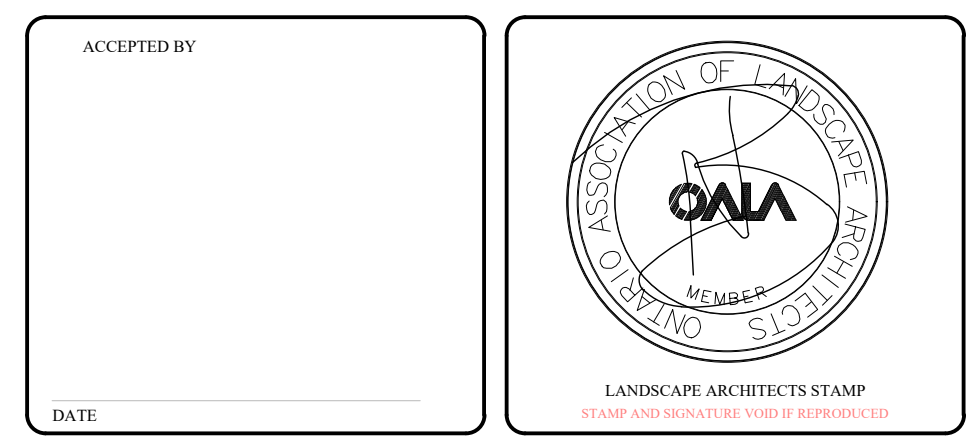
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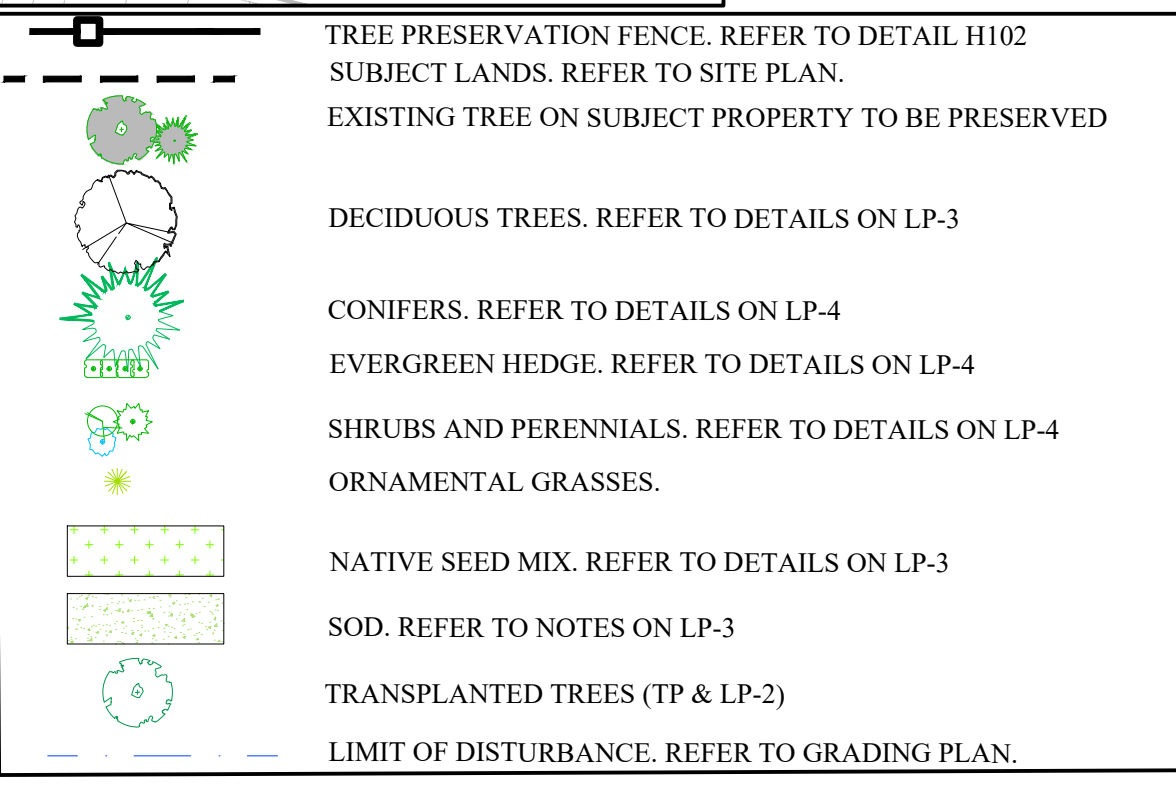
BASE PLAN REVISED: March 5, 2021



LANDSCAPE PLANTING PLAN

CODE	QNTY	COMMON NAME	BOTANICAL NAME	SIZE	FORM	SPACING	DETAIL	NOTES
DECIDUOUS TREES								
AD	5	AUTUMN BLAZE MAPLE	Acer x freemanii 'Jeffersred'	60 mm	W.B.	9.0 m o/c	H-101	Full Form
Gt	5	IMPCOLE HONEYLOCUST	Gleditsia triacanthos var. inermis 'Imperial'	60 mm	W.B.	9.0 m o/c	H-101	Full Form
PaE	1	EXCLAMATION PLANE TREE	Platanus x acerifolia 'Exclamation'	60 mm	W.B.	9.0 m o/c	H-101	Full Form/Acidic soil
PcC	2	KWANZAN FLOWERING CHERRY	Prunus serrulata 'Kwanzan'	60 mm	W.B.	5.0 m o/c	H-101	Full Form
QrF	3	COLUMNAR ENGLISH OAK	Quercus robur 'Fastigiata'	60 mm	W.B.	6.0 m o/c	H-101	Full Form
Sa	2	EUROPEAN MOUNTAIN ASH	Sorbus aucuparia	60 mm	W.B.	6.0 m o/c	H-101	Full Form
CONIFEROUS TREES								
Ab	2	BALSAM FIR	Abies balsamea	200cm	w.b.	6m o/c	H-101	Full form / Do not cut leader
CnP	2	WEeping FALSE CYPRESS	Chamaecyparis nootkatensis 'Pendula'	200cm	w.b.	As Per Drawing	H-101	Full form / Do not cut leader
Po	2	SERBIAN SPRUCE	Picea omorika	200cm	w.b.	As Per Drawing	H-101	Full form / Do not cut leader
ORNAMENTAL GRASSES								
CaK	62	KARL FOERSTER FEATHER REED GRASS	Calamagrostis arundinacea 'Karl Foerster'	1 gal	pot	0.60 m o/c	n/a	Full form / Container grown
FgE	60	ELIJAH'S BLUE FESCUE	Festuca glauca 'Elijah Blue'	1 gal	pot	0.30 m o/c	n/a	Full form / Container grown
Hs	46	SAPPHIRE FOUNTAIN BLUE OAT GRASS	Helictotrichon sempervirens 'Saphirsprudel'	1 gal	pot	0.60 m o/c	n/a	Full form / Container grown

DECIDUOUS SHRUBS								
EaC	12	DWARF WINGED BURNING BUSH	Euonymus alatus 'Compactus'	60 cm	3 gal.	1.60 m o/c	D-3	Full form / Container grown
Hy	3	TWIST-N-SHOUT HYDRANGEA	Hydrangea macrophylla 'Twist-n-Shout'	60 cm	3 gal.	1.2m o/c	D-3	Full form / Container grown
Pc	7	PURPLE LEAF SAND CHERRY	Prunus x cistena	60 cm	3 gal.	0.90m o/c	D-3	Full form / Container grown
PIU	9	MANGO TANGO POTENTILLA	Potentilla fruticosa 'Uman'	60 cm	3 gal.	0.60m o/c	D-3	Full form / Container grown
Rr	32	NEARLY WILD ROSE	Rosa rugosa 'Nearly Wild'	60 cm	3 gal.	0.90m o/c	D-3	Full form / Container grown
HEDGES								
Tm	36	DENSE SPREADING YEw	Taxus x media 'Densiformis'	50cm	3 gal.	0.75m o/c	D-3	Clipped hedge at 0.9m ht
EVERGREENS								
JhB	10	BLUE CHIP JUNIPER	Juniperus horizontalis 'Blue Chip'	50cm	3 gal.	0.90 m o/c	D-3	Full form / Container grown
JsM	1	MOFFET JUNIPER	Juniperus scopulorum 'Moffetti'	150cm	w.b.	0.90 m o/c	D-3	Full form / Container grown
Pmp	2	MUGHO PINE	Pinus mugo var. pumilio	60cm	7 gal.	1.50 m o/c	D-3	Full form / Container grown
Th	2	HICK'S YEw	Taxus x media 'Hicksii'	50cm	3 gal.	1.0m o/c	D-3	Full form / Container grown



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LANDSCAPE PLANTING PLAN

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1:250	September 2021	ST	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	DATE:
	33-21	ST	

LP-2



LANDSCAPE RESTORATION PLAN

CODE	QNTY	COMMON NAME	BOTANICAL NAME	SIZE	FORM	SPACING	DETAIL	NOTES
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NATIVE DECIDUOUS TREES								
Ar	8	RED MAPLE	<i>Acer rubrum</i>	80 cm	2 gal	9.0 m o/c	D-1	Full Form/ Fall pruning only
As	3	SUGAR MAPLE	<i>Acer saccharum</i>	80 cm	2 gal	9.0 m o/c	D-1	Full Form/ Fall pruning only
Asn	5	SILVER MAPLE	<i>Acer saccharinum</i>	80 cm	2 gal	9.0 m o/c	D-1	Full Form/ Fall pruning only
Bp	9	YELLOW BIRCH	<i>Betula alleghaniensis</i>	60 cm	2 gal	9.0 m o/c	D-1	Clump form
Co	5	COMMON HACKBERRY	<i>Celtis occidentalis</i>	60 cm	2 gal	9.0 m o/c	D-1	Full Form
Qa	5	SWAMP WHITE OAK	<i>Quercus bicolor</i>	80 cm	2 gal	15.0 m o/c	D-1	Spring planting/ Soil pH-7.5
Qr*	2	RED OAK	<i>Quercus rubra</i>	80 mm	W.B.	9.0 m o/c	D-1	Spring planting/ Soil pH-7.5
Qr	7	RED OAK	<i>Quercus rubra</i>	80 cm	2 gal	9.0 m o/c	D-1	Spring planting/ Soil pH-7.5

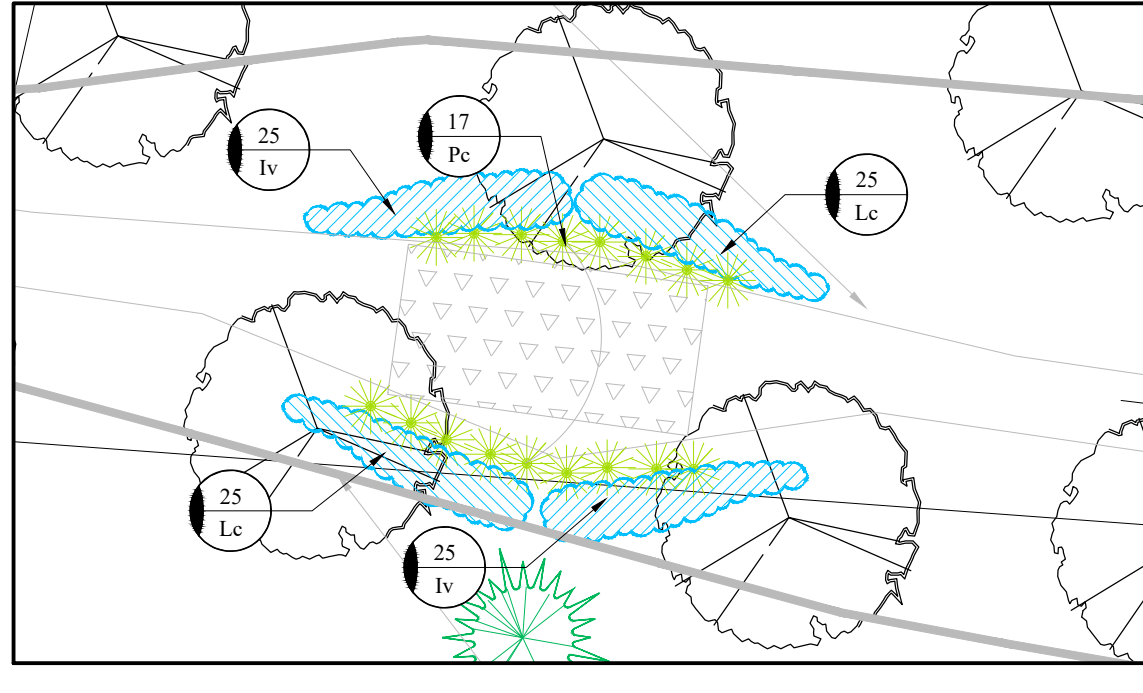
NATIVE CONIFEROUS TREES								
Ab	12	BALSAM FIR	<i>Abies balsamea</i>	40 cm	2 gal	6m o/c	D-2	Full form / Do not cut leader
Pg	10	WHITE SPRUCE	<i>Picea glauca</i>	60 cm	2 gal	5m o/c	D-2	Full form / Do not cut leader
Ps	10	EASTERN WHITE PINE	<i>Pinus strobus</i>	60 cm	2 gal	6m o/c	D-2	Full form / Do not cut leader
To	6	EASTERN WHITE CEDAR	<i>Thuja occidentalis</i>	80 cm	2 gal	1.0 m o/c	D-2	Full form / Do not cut leader

NATIVE SHRUBS								
Aar	15	SERVICE-BERRY	<i>Amelanchier alnifolia</i>	pot	2 gal	1.8m o/c	D-3	Full form / Container grown
Cst	15	RED OSIER DOGWOOD	<i>Cornus stolonifera</i>	pot	2 gal	2.0m o/c	D-3	Full form / Container grown
Dlo	46	BUSH HONEYSUCKLE	<i>Lonicera</i>	pot	2 gal	1.0m o/c	D-3	Full form / Container grown
Ive	30	WINTERBERRY	<i>Ilex verticillata</i>	pot	2 gal	2.0m o/c	D-3	Full form / Container grown
Pff	15	COMMON CINQUEFOIL	<i>Potentilla fruticosa ssp. floribunda</i>	pot	2 gal	1.0 m o/c	D-3	Full form / Container grown
Pop	15	COMMON NINEBARK	<i>Physocarpus opulifolius</i>	pot	2 gal	1.8m o/c	D-3	Full form / Container grown
Pvi	15	COMMON CHOKECHERRY	<i>Prunus virginiana ssp. virginiana</i>	pot	2 gal	6.0m o/c	D-3	Full form / Container grown
Ram	15	WILD BLACK CURRANT	<i>Ribes americanum</i>	pot	2 gal	2.0m o/c	D-3	Full form / Container grown
Rpal	50	SWAMP ROSE	<i>Rosa palustris</i>	pot	2 gal	1.0m o/c	D-3	Full form / Container grown
Rti	15	STAGHORN SUMAC	<i>Rhus typhina</i>	pot	2 gal	2.5m o/c	D-3	Top-base slope
Sal	35	MEADOWSWEET	<i>Spiraea alba</i>	pot	2 gal	1.2m o/c	D-3	Full form / Container grown
Sea	15	BUFFALOBERRY	<i>Shepherdia canadensis</i>	pot	2 gal	2.3m o/c	D-3	Full form / Container grown
Sdis	15	PUSSY WILLOW	<i>Salix discolor</i>	pot	2 gal	2.0m o/c	D-3	Mid-base slope
Tca	80	CANADIAN YEW	<i>Taxus canadensis</i>	pot	2 gal	1.0m o/c	D-3	Full form / Container grown
Vle	15	NANNYBERRY	<i>Viburnum lentago</i>	pot	2 gal	1.5m o/c	D-3	Full form / Container grown
Vtri	15	HIGH BUSH CRANBERRY	<i>Viburnum trilobum</i>	pot	2 gal	2.5m o/c	D-3	Full form / Container grown

AQUATIC PLANTS								
Iv	100	WILD BLUE FLAG IRIS	<i>Iris versicolor</i>	10cm	plug	n/a	m/a	Shoreline
Lc	100	CARDINAL FLOWER	<i>Lobelia canadensis</i>	10cm	plug	n/a	m/a	Shoreline
Pc	60	PICKEREL WEED	<i>Pontederica cordata</i>	10cm	plug	n/a	m/a	Emergent

Plant densities	Area	# Trees	# Shrubs
	m ²	(20m ² /tree)	(4m ² /shrub)
Required	1625	81	406

REFER TO PLANTING DETAILS ON LP-4



AQUATIC PLANTING DETAIL (typ.)

LEGEND

- SUBJECT LANDS. REFER TO SITE PLAN.
- RESTORATION DECIDUOUS TREES. REFER TO DETAIL D-1 ON LP-4
- RESTORATION CONIFERS. REFER TO DETAIL D-2 ON LP-4
- RESTORATION SHRUBS. REFER TO DETAILS D-3 AND D-4 ON LP-4
- RESTORATION NATIVE SEED MIX. REFER TO DETAILS ON THIS PAGE.
- LANDSCAPING TREES. REFER TO LANDSCAPING PLANS (LP-2)
- EXISTING TREE TO BE PRESERVED
- LIMIT OF DISTURBANCE. REFER TO GRADING PLAN.

SITE CONDITIONS

- VERIFY ALL EXISTING SITE CONDITIONS AND REPORT ANY DISCREPANCIES BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO SERVICES, EXISTING VEGETATION OR ANY OTHER FEATURES TO BE RETAINED.
- FOR ALL AREAS OF DISTURBANCE: NATIVE TOPSOIL IS TO BE STRIPPED, STOCK PILED, LABORATORY TESTED AND REPLACED AS PER TOPSOIL REQUIREMENTS.
- PLANT MATERIAL LISTED IN THE PLANT SCHEDULE ARE MINIMUM SIZES +/- NURSERY GROWN AND UNIFORM SPECIMENS. NO SUBSTITUTIONS WILL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECTS.
- DECIDUOUS TREES SHALL HAVE A STRAIGHT CENTRAL LEADER AND WELL BRANCHED 1.5M ABOVE GRADE UNLESS OTHERWISE STATED.
- CONIFEROUS TREES SHALL HAVE A STRAIGHT CENTRAL LEADER AND DENSELY BRANCHED TO WITHIN 0.3m OF THE GROUND.
- ALL PLANTING MATERIAL AND OPERATIONS TO MEET OR EXCEED THE HORTICULTURAL STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION AND THE HORTICULTURAL TRADES ASSOCIATION. ALL PLANT MATERIAL TO BE NO.1 GRADE NURSERY STOCK. UNSATISFACTORY STOCK WILL BE REFUSED ON THE SITE.
- SOD TO BE CANADA NO.1 NURSERY SOD, MEETING ONTARIO SOD GROWERS ASSOCIATION STANDARDS. ALL SOD AREAS TO RECEIVE 200MM DEPTH OF TOPSOIL UNLESS OTHERWISE INDICATED.

PLANTING NOTES

- LOCATIONS FOR PLANT MATERIAL AND PLANTING BEDS ARE TO BE MARKED OR STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT AND MUNICIPAL STAFF PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL WHICH ARE SPECIFIED BY O.C. (ON CENTER SPACING) ARE TO BE PLANTED AS NOTED IN THE PLANT SCHEDULE.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND DRAWING, THE DRAWING WILL BE ASSUMED TO BE CORRECT.
- ALL MASS PLANTINGS OF SHRUBS SHALL BE IN CONTINUOUS BEDS AND MULCHED AS SPECIFIED.
- ALL TREE PITS SHALL INCLUDE TREATMENT WITH MICORRHIZAL FUNGI OF THE WALLS BEFORE PLANTING (2L OF "MIKE" OR SIMILAR PRODUCT SHALL BE USED FOR EACH 60MM CALIPER TREE)
- ALL TREES ARE TO BE STAKED OR GUY WIRED ACCORDING TO DETAILS PROVIDED. NO ACCESSIBLE OPEN HOLE TREE PITS SHALL BE PERMITTED OVERNIGHT.
- REMOVE BURLAP AND ROPE FROM THE TOP 1/3 OF ROOT BALLS.
- WATER AT TIME OF PLANTING AND WHENEVER DEEMED NECESSARY TO MAINTAIN THE TREES IN A HEALTHY CONDITION.
- ALL PLANT MATERIALS WHICH CAN NOT BE PLANTED IMMEDIATELY UPON ARRIVAL ON SITE SHALL BE PROPERLY HELED IN OR WELL PROTECTED WITH SOIL OR SIMILAR MATERIALS TO PREVENT DRYING OUT AND SHALL BE KEPT MOIST UNTIL COMMENCEMENT OF PLANTING.
- NO ACCESSIBLE OPEN HOLE TREE PITS SHALL BE PERMITTED OVERNIGHT. ALL OPEN PITS SHALL BE ADEQUATELY PROTECTED BY INNSFILERS OR FILLED IN WITH SOIL PRIOR TO THE END OF EACH PLANTING DAY.
- ALL NEW WORK TO BLEND NEATLY AND SMOOTHLY WITH EXISTING CONDITIONS.

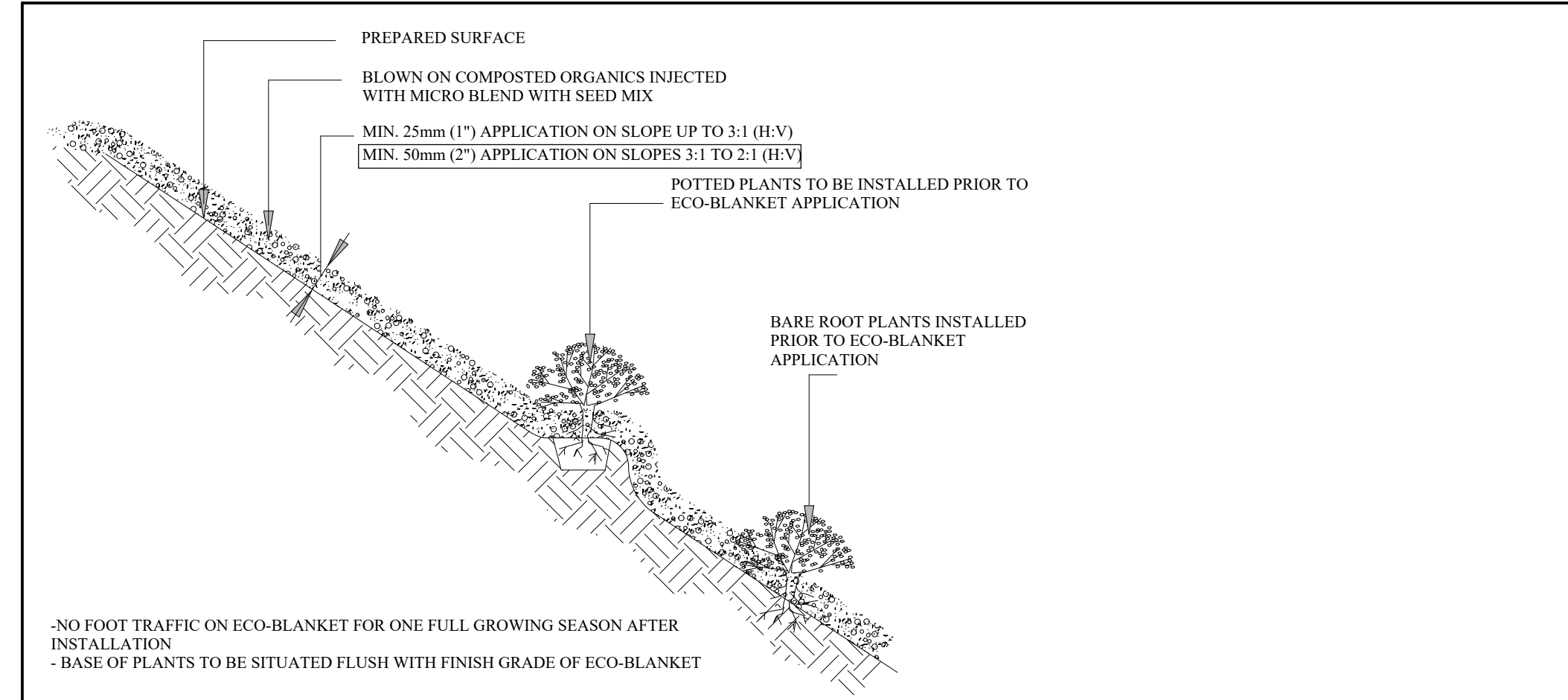
INSPECTION AND WARRANTY

- GIVE TIMELY NOTICE TO THE LANDSCAPE ARCHITECT FOR THE REQUIRED START UP SITE INSPECTION TO REVIEW SITE CONDITIONS AND SCHEDULE FOLLOW UP INSTALLATIONS.
- INSTALLATION OF PLANT MATERIAL PRIOR TO INSPECTION BY THE LANDSCAPE ARCHITECT WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS, WHETHER INSTALLED OR NOT, WHICH DO NOT CONFORM TO THE SPECIFICATIONS AND/OR SITE DRAWING. REMOVE ALL REJECTED PLANTS FROM THE SITE IMMEDIATELY. DO NOT REMOVE ANY LABELS FROM PLANTS UNTIL PLANTS HAVE BEEN INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL AND WORKMANSHIP WILL BE INSPECTED AND IS UNDER WARRANTY FOR A MINIMUM OF TWO YEAR FROM DATE OF WRITTEN ACCEPTANCE. ALL PLANT MATERIAL MUST BE IN A HEALTHY, VIGOROUS GROWING CONDITION SATISFACTORY TO THE CONTRACT ADMINISTRATOR AT THE END OF THE WARRANTY PERIOD OR BE REPLACED AT THE CONTRACTORS EXPENSE.
- FINAL ACCEPTANCE OF THE PROJECT WILL BE CARRIED OUT UPON COMPLETION OF ALL WORK INCLUDED IN THE CONTRACT.
- STAKING HARDWARE TO BE REMOVED AFTER ONE GROWING SEASON

TOPSOIL REQUIREMENTS

- PROVIDE MINIMUM SOIL VOLUME PER TREE AT 0.45m DEPTH FOR STREET TREES (OR ABOVE UTILITIES) AND MAX. 0.9m IN OTHER AREAS:
 - 18 m³ FOR LARGE TREES
 - 12 m³ FOR SMALL TREES
- PREPARED SOIL MIXTURE FOR EACH TREE PITS AND SHRUBS SHALL CONSIST OF HIGH QUALITY SOIL:
 - SIX PARTS OF FERTILE LOAM SOIL (50-60% SAND, 20-40% SILT, 6-10% CLAY, 2-5% ORGANIC), WITH A pH OF 7.5+ OR LESS, FREE OF CLAY LUMPS, DEBRIS, TOXIC SUBSTANCES, STONES, WOODY MATERIAL, WEED SEEDS AND GRASS ROOTS
 - ONE PART COARSE PULVERIZED CANADIAN PEAT MOSS
 - ONE PART OF WELL-ROTTED FARM MANURE
- PREPARED SOIL MIXTURE FOR SOD AREAS SHALL CONSIST OF MIN. 20cm HIGH QUALITY SOIL:
 - SIX PARTS OF FERTILE LOAM SOIL (50-60% SAND, 20-40% SILT, 6-10% CLAY, 2-5% ORGANIC), WITH A pH OF 7.5+ OR LESS, FREE OF CLAY LUMPS, DEBRIS, TOXIC SUBSTANCES, STONES, WOODY MATERIAL, WEED SEEDS AND GRASS ROOTS

PLANTING NOTES



-NO FOOT TRAFFIC ON ECO-BLANKET FOR ONE FULL GROWING SEASON AFTER INSTALLATION
-BASE OF PLANTS TO BE SITUATED FLUSH WITH FINISH GRADE OF ECO-BLANKET

- Description:**
 - The EcoBlanket shall consist of furnishing, constructing and maintaining an EcoBlanket to Rexius specifications. EcoBlanket is a ground cover (surface blanket) of the Rexius specified compost/mulch (Erosion Blend) combined with a special additive (Microblend) constructed with a pneumatic blower to control and reduce soil erosion. An EcoBlanket stabilizes the soil, prevents splash, sheet and rill erosion, and removes suspended soil particles and contaminants from water moving off the site and into adjacent waterways or storm water conveyance systems.
 - 1.1. This EcoBlanket must be applied by Landsource Organix Ltd., 100 Britannia Road East, Hornby, Ontario L0P 1E0, tollfree 1 877 548 8558 (toll free 1 877 548 8559) or equivalent certified EcoBlanket installer.
 - 1.2. Materials must be applied using a pneumatic blower unit complete with a supplemental granular injection system capable of installing at least 15 cubic meters per hour.
 - 1.3. Contractor must have at least 3 years of proven experience in successfully installing EcoBlankets™.
- Material:**
 - The EcoBlanket filtering material consists of the Rexius Erosion Blend of compost and mulch materials, according to the Rexius particle sizing specifications, in combination with the Rexius Microblend additive.
 - 2.1. Particle size must meet exact specifications of the Rexius EcoBlanket Erosion Blend material supplied by a certified supplier/installer.
 - 2.2. The compost portion of EcoBlanket shall be derived from well-decomposed organic matter source produced by controlled aerobic (biological) decomposition that has been sanitized through the generation of heat and stabilized to the point that it is appropriate for this particular application. Compost material shall be processed through proper thermophilic composting, meeting the Canadian Council of Ministers of the Environment's (CCME) definition for a "process to further reduce pathogens" (PFPI). The compost portion shall meet the chemical, physical and biological properties (as outlined in the chart on reverse). These and all other required properties for the performance of the EcoBlanket are included in the Rexius EcoBlanket Manufacturer Guidelines followed by certified suppliers/installers.
 - 2.3. Rexius Microblend additive shall be injected into EcoBlanket blend material at time of EcoBlanket construction.
 - 2.4. A proof of certification as an EcoBlanket supplier shall be submitted to the Landscape Architect for approval prior to installation. Test results for EcoBlanket performance shall be made available upon request.
 - 2.5. Where seeding or planting is planned, Erosion Blend material must meet Rexius' minimum specification requirements for seeding purposes.
- Construction:**
 - 3.1. The EcoBlanket shall be placed as shown on the plans or as directed by the Landscape Architect.
 - 3.2. On areas with slopes 3:1 to 2:1 (H:V) the EcoBlanket shall be uniformly applied directly to the soil surface with a pneumatic blower as specified by Rexius. EcoBlanket shall be applied at a depth of 50 mm minimum and approximately 90 cm over the top of the slope, or overlap it into existing vegetation. On areas with slopes up to 3:1(H:V) the EcoBlanket shall be applied at a depth of 25mm minimum. In extreme conditions and where specified by the Engineer/Landscape Architect, EcoBermers shall be added and constructed at the top of the slope in parallel intervals down the profile of the slope (6 metres to 9 metres apart) if necessary. (The Engineer/Landscape Architect shall specify berm requirements)
 - 3.3. Rexius Microblend shall be applied/injected at a minimum rate of 615 kgs. per hectare (or as specified by Rexius), to be confirmed by inspector/project manager.
 - 3.4. EcoBlanket application depth may be modified based on specific site (e.g., soil characteristics, existing vegetation) and climatic conditions, as well as particular project related requirements. The severity of slope grade, as well as slope length will also influence the addition of EcoBermers and number of EcoBerm placements in combination with the EcoBlanket.
 - 3.5. If temporary or long-term vegetation is required, Erosion Blend material may be injected with seed during application. The Engineer/Landscape Architect shall specify seed requirements and the compost/mulch component shall abide by the minimum standards set by Rexius for seeding.
 - 3.6. Where vegetation is to be established, slightly roughen (scarify) slopes and remove large clods, rocks, stumps, roots larger than 50 mm in diameter and debris on slopes. This soil preparation step may be eliminated where approved by the Landscape Architect/Designer, or where seeding or planting is not planned. Where practical, track (compact) perpendicular to contours on the slope using a bulldozer before applying EcoBlanket injected with seed.
 - 3.7. Do not use EcoBlankets in areas of concentrated flow (ie. ditches, streams, etc.)
 - 3.8. Unless otherwise allowed by Landscape Architect, seeding shall be performed within the local region's seeding deadlines.
- Maintenance:**
 - 4.1. The Contractor shall maintain the EcoBlanket in a functional condition at all times. Contractor shall make periodic inspections of the EcoBlanket for effectiveness and shall immediately correct all deficiencies. Where deficiencies exist, additional EcoBlanket material shall be installed immediately to required depth.
- Method of Measurement:**
 - EcoBlanket shall be measured by the square metre, complete in place.
- Performance:**
 - 6.1. Place EcoBlankets on denuded areas immediately or as directed by Landscape Architect. EcoBermers and/or temporary or permanent vegetation shall be applied/established when necessary, along with other appropriate structural measures and controls, for additional erosion and sediment control.
 - 6.2. The work specified in this Section consists of designing, providing, and maintaining erosion and sedimentation controls as necessary. All existing and foreseeable future conditions that affect the work inside and outside the site limits must be acknowledged as the Contractor's responsibility.
 - 6.3. Contractor is responsible for providing effective sediment control measures based on performance. Contractor may, with approval from the Landscape Architect, work outside the minimum construction requirements to establish a working erosion control system.

ECOBANKET SPECIFICATIONS AND DETAIL

DETAIL ADAPTED FROM LANDSOURCE ORGANIX EcoBlanket (tel: 1-877-548-8558)

- PLANTED SPECIES TO BE MONITORED ONCE A YEAR FOR TWO YEARS DURING THE GROWING SEASON AFTER THE INSTALLATION.
- A MINIMUM OF 80% OF SURVIVAL RATE TO BE ACHIEVED.
- REPLACEMENT PLANTING TO BE COMPLETED AFTER TWO YEAR.
- INVASIVE SPECIES TO BE REMOVED.
- SILTATION FENCE TO REMAIN IN PLACE UNTIL THE END OF THE MONITORING PERIOD.
- REFER TO RECOMMENDATIONS IN SECTION 7 & 8 OF THE E.I.S. STUDY BY CAMBIUM, FEB. 23, 2002.

FLOOD ZONE

NO-MOW ZONE APPROXIMATELY 260 sqm (+10%) (+/- MEASUREMENTS TO BE TAKEN ON SITE)
#107 - SEASONALLY FLOODED ANNUAL/PERENNIAL MIXTURE
5% NODDING BUR MARI GOLD (*Biddens cernua*)
22% FOX SEDGE (*Carex vulpinoidea*)
25% CANADA WILD RYE (*Elymus canadensis*)
25% SWITCHGRASS (*Panicum virgatum*)
23% FOWL MEADOWGRASS (*Poa palustris*)

UPLAND PLANTING ZONE

NO-MOW ZONE (INCLUDING ALL DISTURBED AREAS) APPROXIMATELY 2250m² (+10%) (+/- MEASUREMENTS TO BE TAKEN ON SITE)
SIMCOE COUNTY NATIVE UPLAND MIXTURE
2% NEW ENGLAND ASTER (*Aster novae-angliae*)
12% BLACK EYED SUSAN (*Rudbeckia hirta*)
20% SAND DROPSIDE (*Sporobolus corymbosus*)
20% CANADA WILD RYE (*Elymus canadensis*)
4% CANADA GOLDEN ROD (*Solidago canadensis*)
5% COMMON MILKWEED (*Asclepias syriaca*)
1% WILD BERGAMONTE (*Moranda fistulosa*)
1% SMOOTH BLUE ASTER (*Aster laevis*)
15% LITTLE BLUE STEM (*Andropogon scoparius*)
20% INDIAN GRASS (*Sorghastrum nutans*)

SEEDING RATE - 30kg PER HECTARE
APPLIED BY - OSC SEEDS 1-519-886-0557
ANNUAL RYE NURSE CROP TO BE APPLIED AT TIME OF NATIVE UPLAND PLANTING MIXTURE AT A RATE OF 12kg PER HECTARE. REFER TO TERRASSEING NOTES AND MULCH APPLICATION SPECIFICATIONS IN THIS BOX FOR FURTHER DETAILS.

TERRASSEING APPLICATION SPECIFICATIONS
ECOBANKET OR TERRASSEING TACTIFIER / FLEXGUARD HYDROMULCH SHALL BE APPLIED AS PER MANUFACTURER SPECIFICATIONS. SEE NOTES ON THIS PAGE.

TOP SOIL

TOPSOIL SHALL BE PROVIDED TO A MINIMUM DEPTH OF 0.45m FOR TERRESTRIAL AREAS EXCEPT THE RIP RAP.
TOPSOIL QUALITY SHALL BE AS PER NOTES ON THIS PAGE. IT SHALL BE TESTED BY AN INDEPENDENT LABORATORY PRIOR TO INSTALLATION.

NB - ALL DISTURBED AREAS TO BE TERRASSEED

SEEDING AND TOP SOIL NOTES



KEY MAP

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR ALL LOCATES INCLUDING ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION OR INSTALLATIONS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.

ANY ACCOMPANYING DOCUMENTATION RELATING TO THE LANDSCAPE PLAN AND/OR PRESERVATION PLAN SUCH AS TENDER DOCUMENTS AND CHANGE NOTICES ARE TO BE ENDORSED BY JDB ASSOCIATES LIMITED PRIOR TO THE BEGINNING OF ANY SITE WORKS. IN THE EVENT THAT A DISCREPANCY THE DRAWING SHALL BE ASSUMED CORRECT.

IT IS THE RESPONSIBILITY OF THE PERSON OR PERSONS RESPONSIBLE FOR THE CONSTRUCTED WORKS TO NOTIFY THE LANDSCAPE ARCHITECT WHEN PREPARED FOR ANY REQUIRED INSPECTIONS AND SIGN OFFS.

SCHEDULED MEETINGS SHALL TAKE PLACE AT THE CLOSEST MUTUALLY CONVENIENT TIME.

No.	REVISION	DATE	APRVD.
1.	CLIENT REVIEW	December 2, 2021	ST
2.	SUBMISSION FOR SPA	December 15, 2021	ST
3.	REVISED AS PER UPDATED ROOF PLAN	February 23, 2022	MC
4.	REVISED AS PER TOWN AND LSRC COMMENTS	April 14, 2022	ST

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES OR VARIATIONS FROM THE SUPPLIED INFORMATION TO THE LANDSCAPE ARCHITECT WITH THE PROJECT. JDB ASSOCIATES LIMITED IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, ARCHITECTURAL, MECHANICAL, ENGINEERING OR ELECTRICAL INFORMATION SHOWN ON THE DRAWING. FOR FURTHER INFORMATION REFER TO APPROPRIATE SURVEY, ARCHITECTURAL, MECHANICAL, ENGINEERING OR ELECTRICAL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORKS.

THIS DRAWING IS NOT TO BE SCALED.

LLOYD & PURCELL
A Division of Schaefer Drazdol Bennett LTD.
ONTARIO LAND SURVEYORS
1228 GORHAM STREET, UNIT 28,
NEWMARKET, ONTARIO, L3Y8Z1
(905) 895-6414 Fax: (905) 8533817

BASE PLAN REVISED: March 5, 2021

ACCEPTED BY: _____
DATE: _____

LANDSCAPE ARCHITECTS STAMP
JDB ASSOCIATES LIMITED
1228 GORHAM STREET, UNIT 28, NEWMARKET, ONTARIO, L3Y8Z1
(905) 895-6414 Fax: (905) 8533817

JDB ASSOCIATES LTD.
Urban Designers
Landscape Architects
Arborsiters
274 Burton Ave., Suite 1201
Burlington, Ontario, L7N 5W4
Fax: 705-722-5660
Tel: 705-722-6278

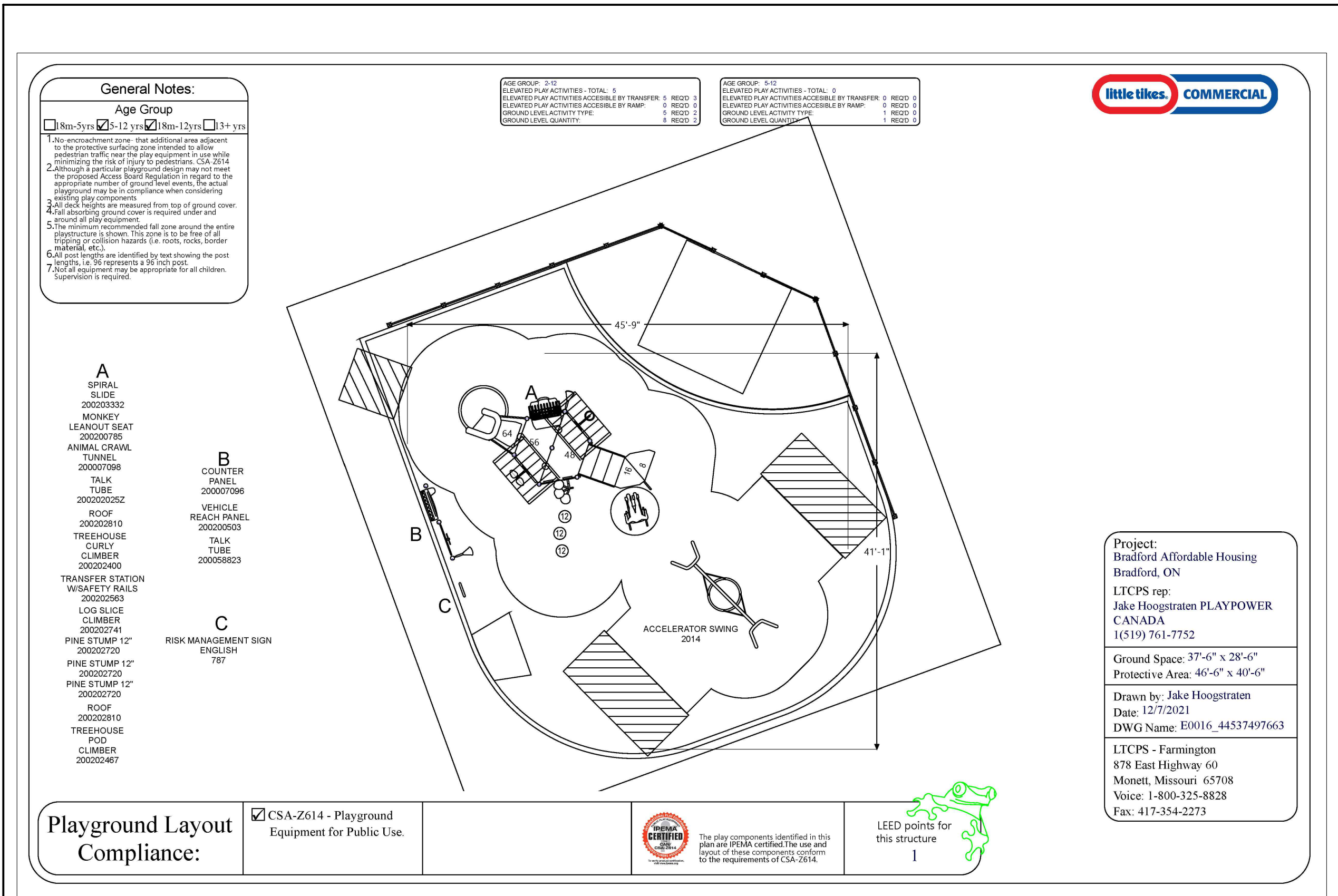
SIMCOE COUNTY AFFORDABLE HOUSING
BWG 151 SIMCOE RD.
BRADFORD WEST GWILLIMBURY, ON

RESTORATION PLANTING PLAN

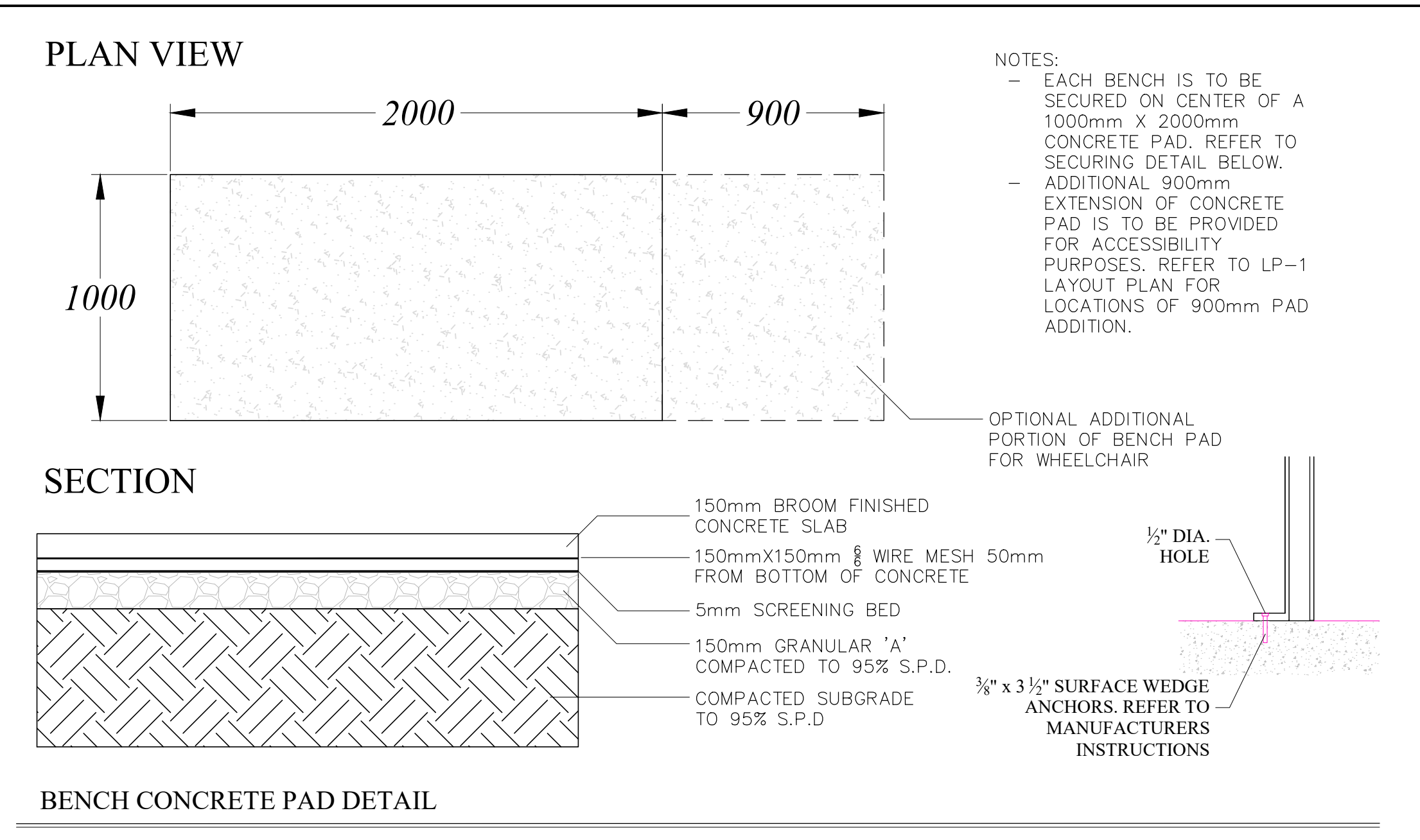
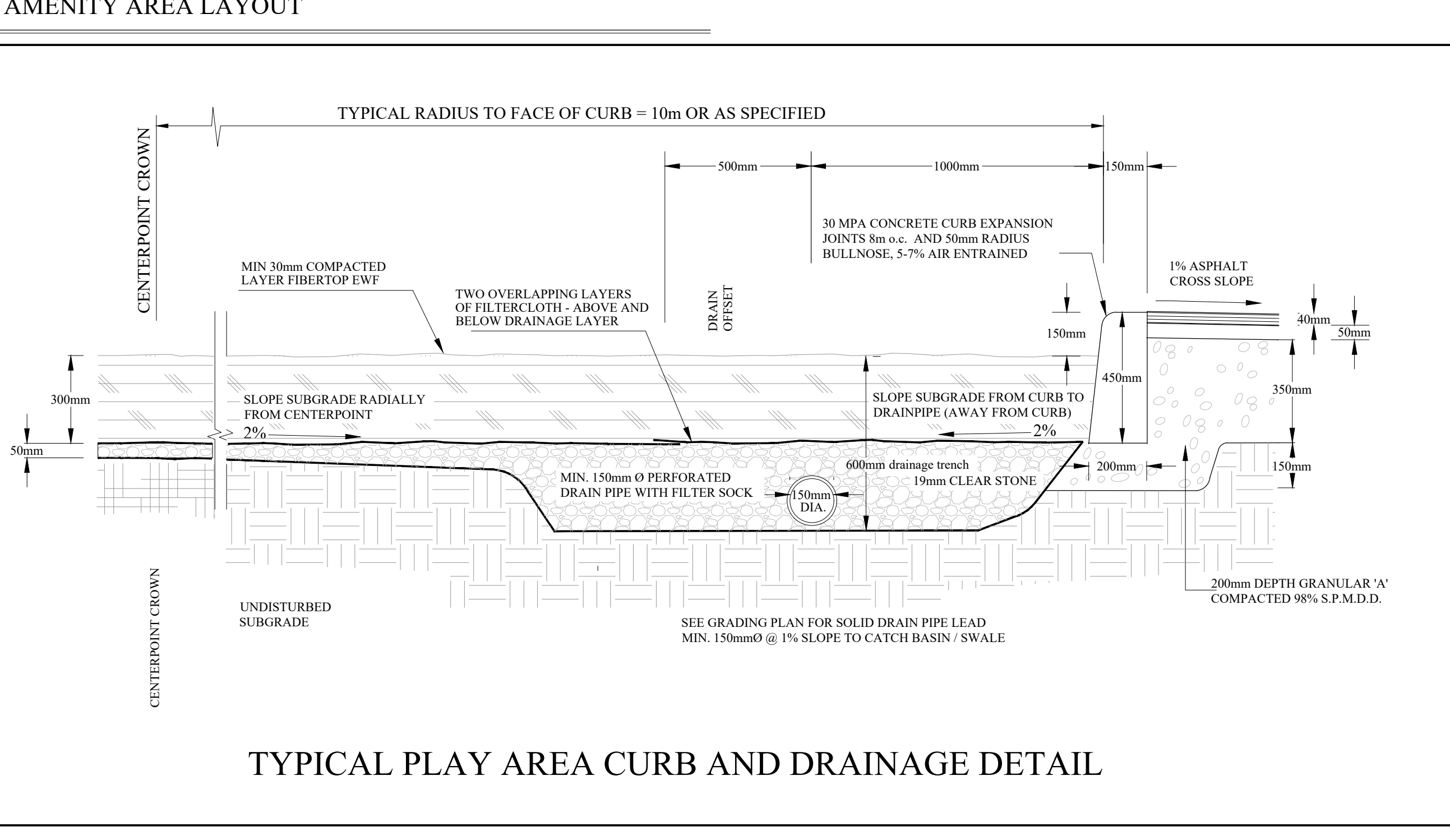
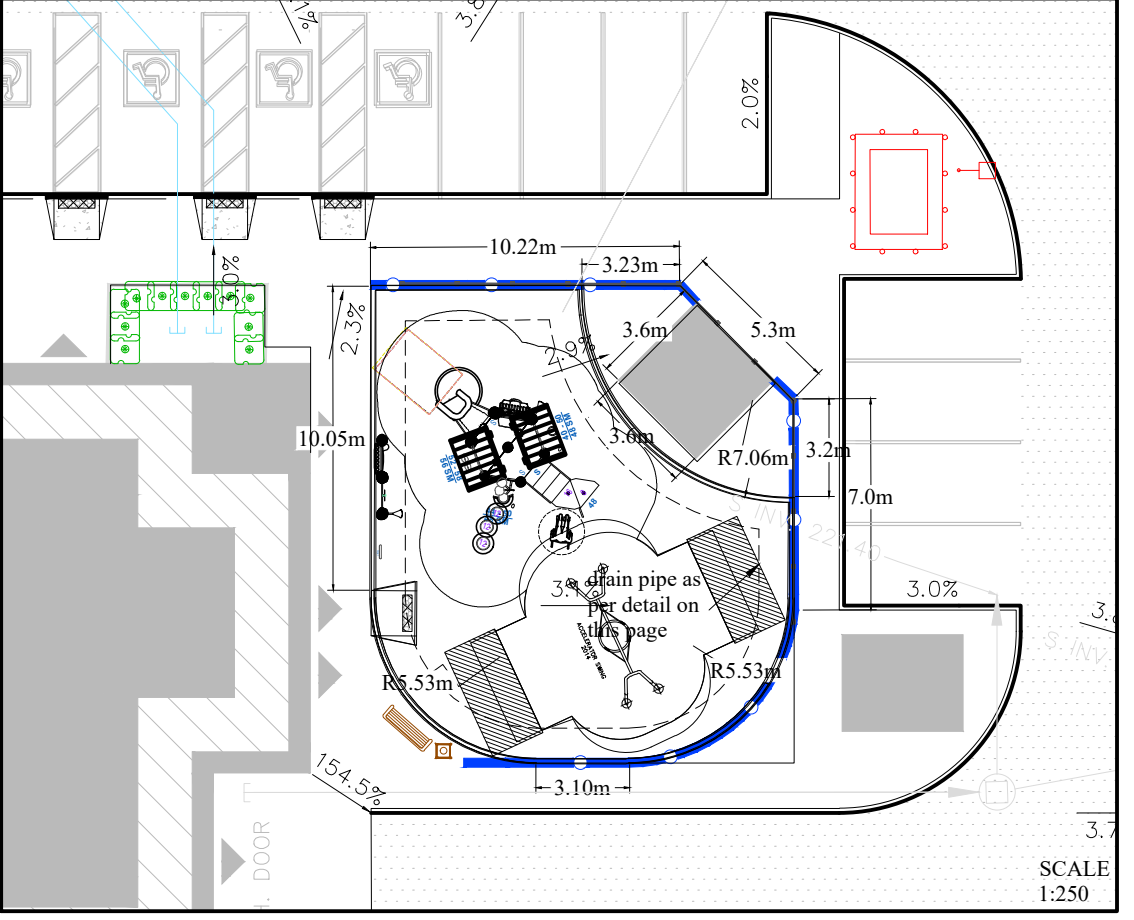
SCALE:	DATE:	DESIGNED BY:	REVIEWED BY:
1:250	September 2021	ST	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	
	33-21	ST	LP-3

POST DEVELOPMENT NOTES

NO FOOT TRAFFIC ON ECO-BLANKET FOR ONE FULL GROWING SEASON AFTER INSTALLATION



NOTE: ALL TOYS AND EQUIPMENTS TO BE INSTALLED ON CONCRETE FOOTINGS UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT. REFER TO THE MANUFACTURER'S SPECIFICATIONS.



Plaza Bench - 6', Cedar

DELUXE

Beauty and brawn! Recommended for schools, atriums and recreational areas.

- Recycled plastic planks never need sealing, painting or staining. Won't rot or corrode.
- Smooth, contoured seat and backrest for extra comfort.
- Powder-coated, cast aluminum frame resists rust.
- Mounting hardware included.

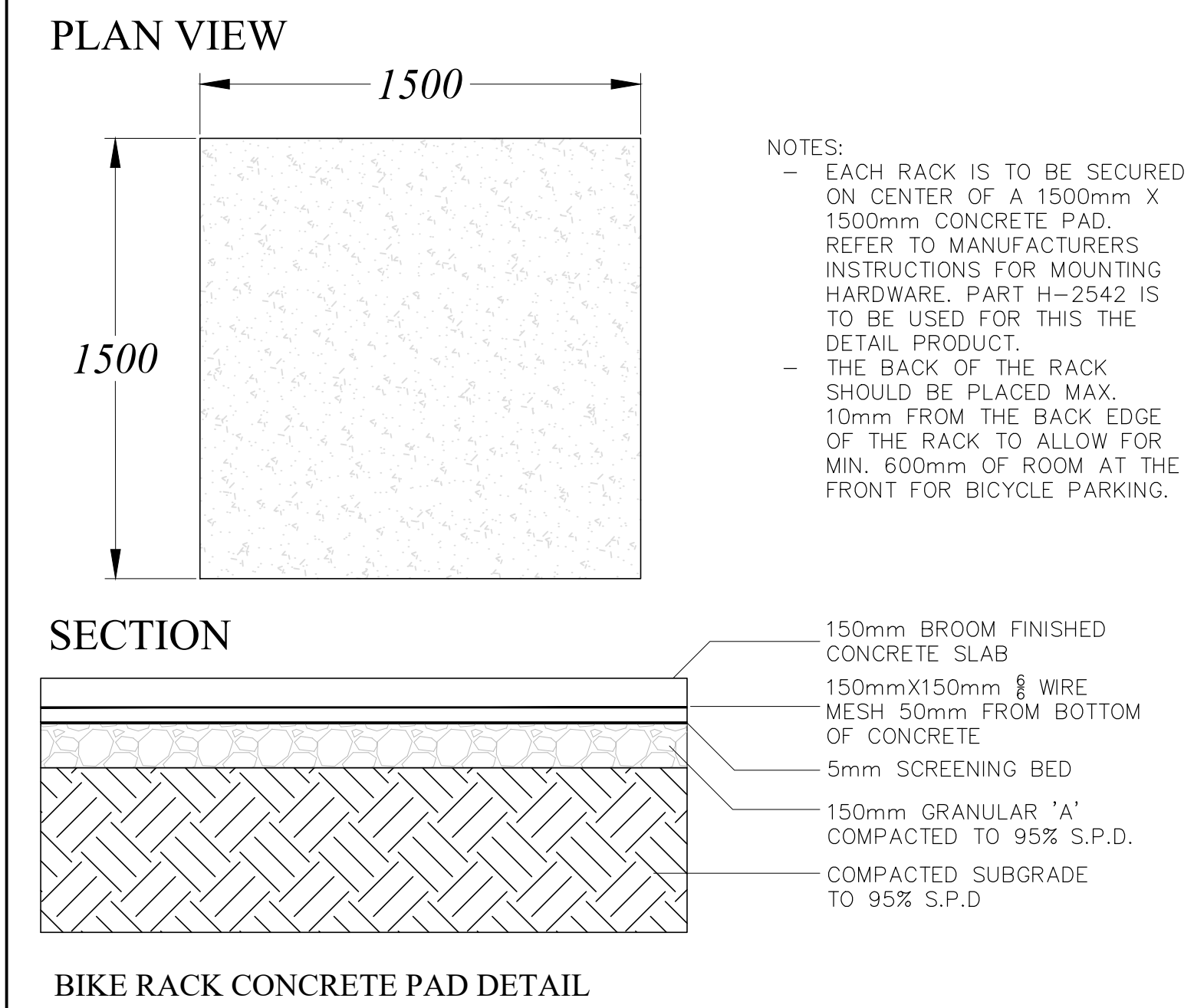
BENCH DETAIL- ULINE.ca, MODEL H-437

Single-Sided Grid Bike Rack - 4 Bike Capacity, Black

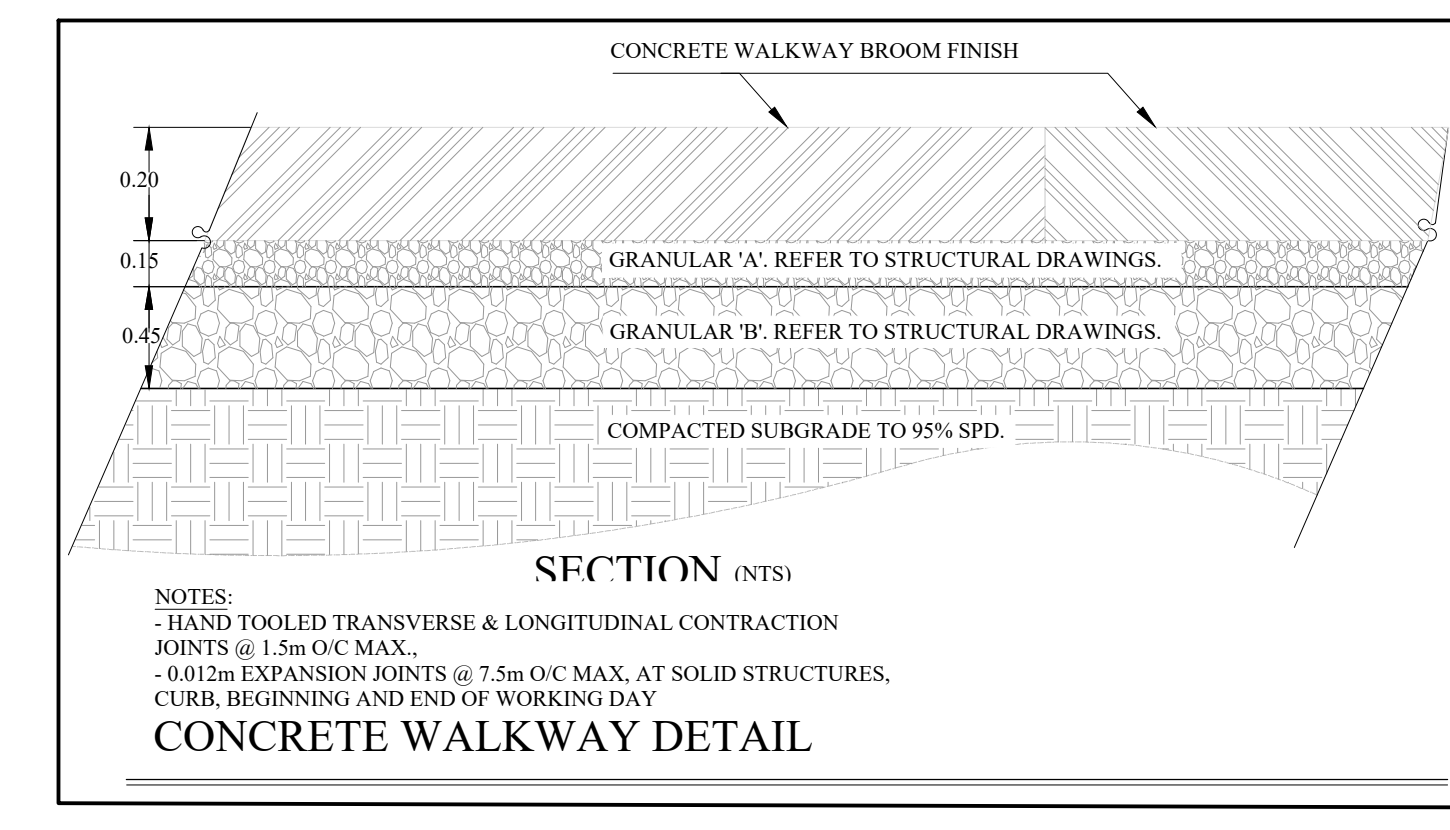
Everybody's biking! Secures bikes, deters theft. For commuter stations, libraries, schools.

- Sturdy 14-gauge construction, attractive powder coating.
- Rust-resistant bike rack.
- Bike rack mounting hardware included.

BIKE RACK DETAIL- ULINE.ca, MODEL H-2890



NOTE: ALL SITE FURNITURE TO BE SUPPLIED AND INSTALLED BY THE OWNER.



Courtyard Trash Can - 32 Gallon

Elegant trash can for patios, gardens or walkways. Recommended for hotels and shopping centers.

- Glossy, premium powder-coated finish is weather resistant and long lasting.
- Durable, heavy-duty steel bar construction.
- Reusable rigid plastic liner. Easy to empty and clean.
- Flat metal lid with 13" opening.
- Coordinating Courtyard Furniture available.
- Recommended trash liners: Use S-5105 or S-2053.

LITTER RECEPTACLE- ULINE.ca, MODEL H-3022



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ONTARIO LAND SURVEYORS
1228 GORHAM STREET, UNIT 28,
NEWMARKET, ONTARIO, L3Y8Z1
(905) 895-6414 Fax (905) 8535837

BASE PLAN REVISED: March 5, 2021

ACCEPTED BY

DATE

LANDSCAPE ARCHITECTS STAMP

ASSOCIATION OF LANDSCAPE ARCHITECTS OF ONTARIO

JDB ASSOCIATES LTD.

Urban Designers
Landscape Architects
Arborealists

274 Burton Ave., Suite 1201
Barrie, Ontario
L4N 5W4

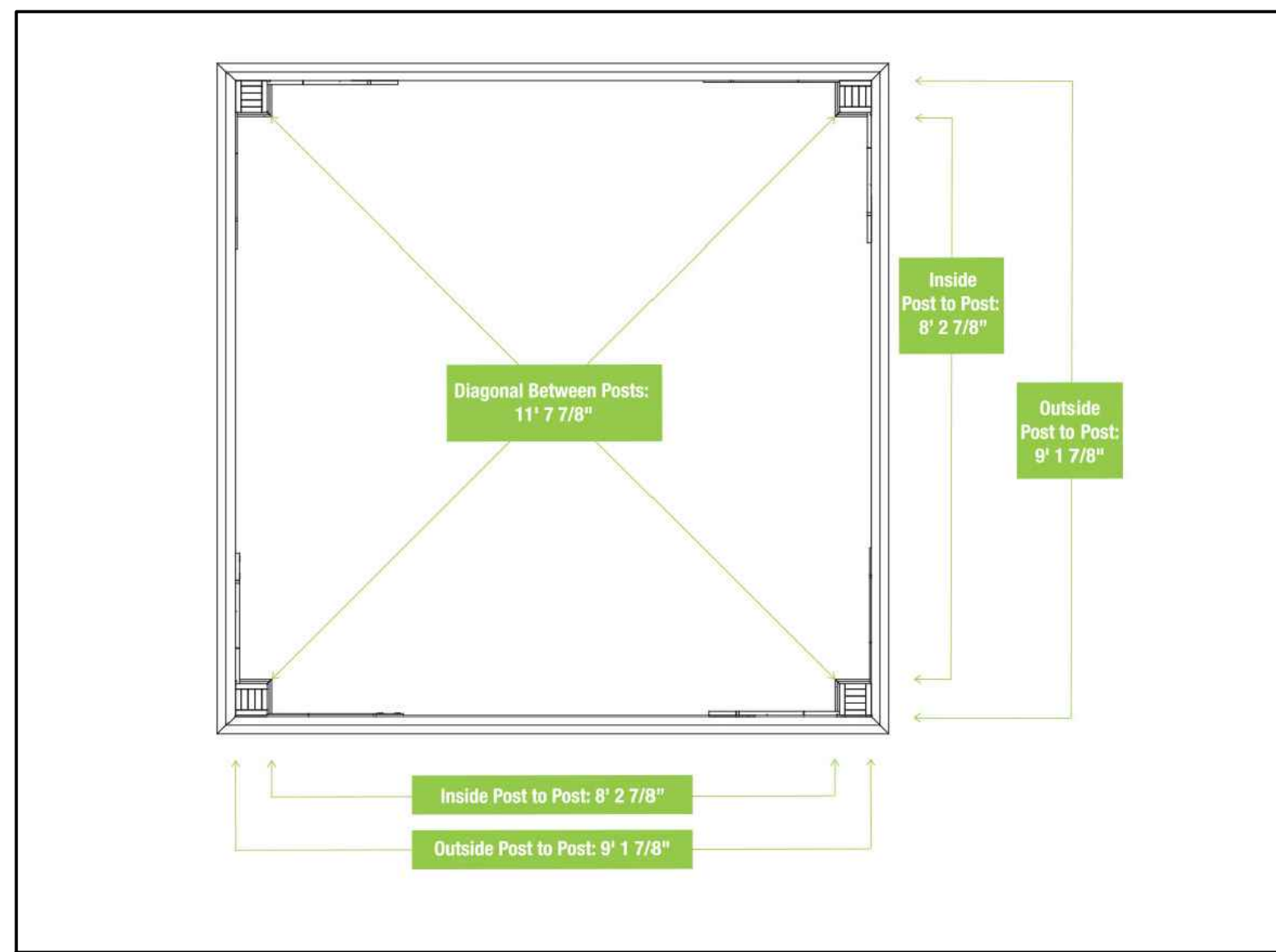
Fax: 705-722-5660
Tel: 705-722-6278

SIMCOE COUNTY AFFORDABLE HOUSING

BWG 151 SIMCOE RD.
BRADFORD WEST GWILLIMBURY, ON

PLAYGROUND AND SITE FURNITURE DETAILS

SCALE:	DATE:	DESIGNED BY:	REVIEWED BY:
AS SHOWN		SJT	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	LP-5
	33-21	SJT	



KEY MAP N.T.S.

GENERAL NOTES

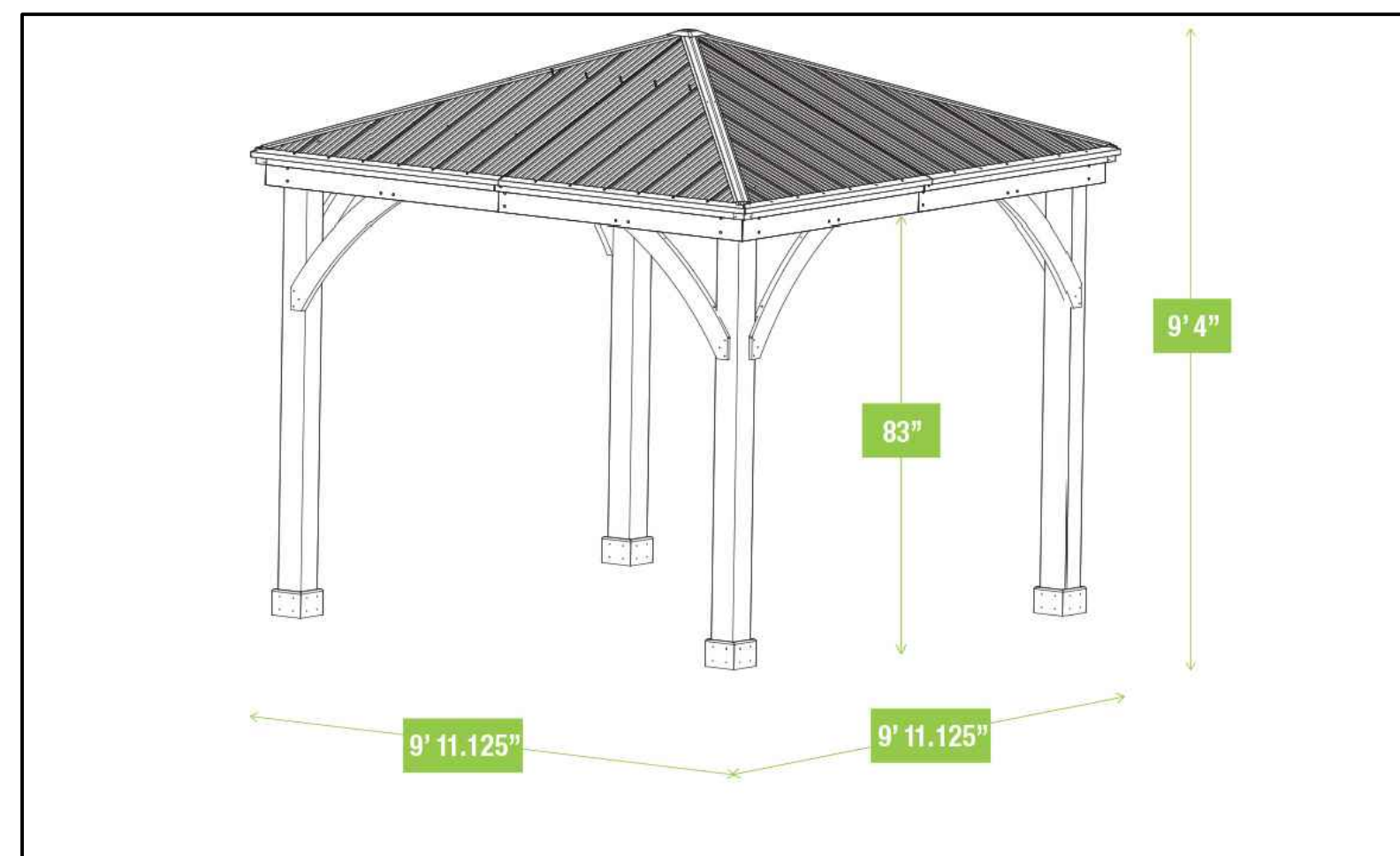
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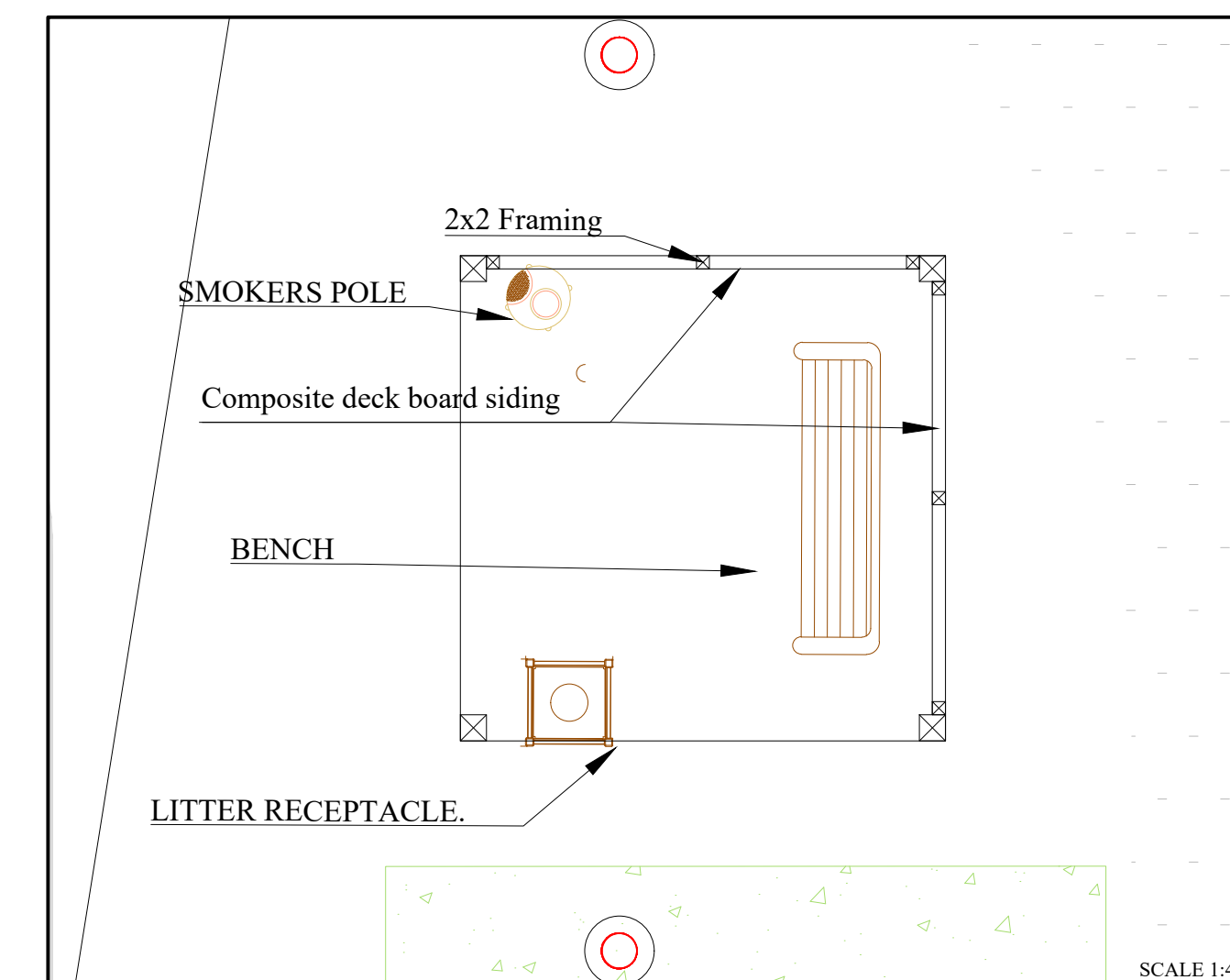
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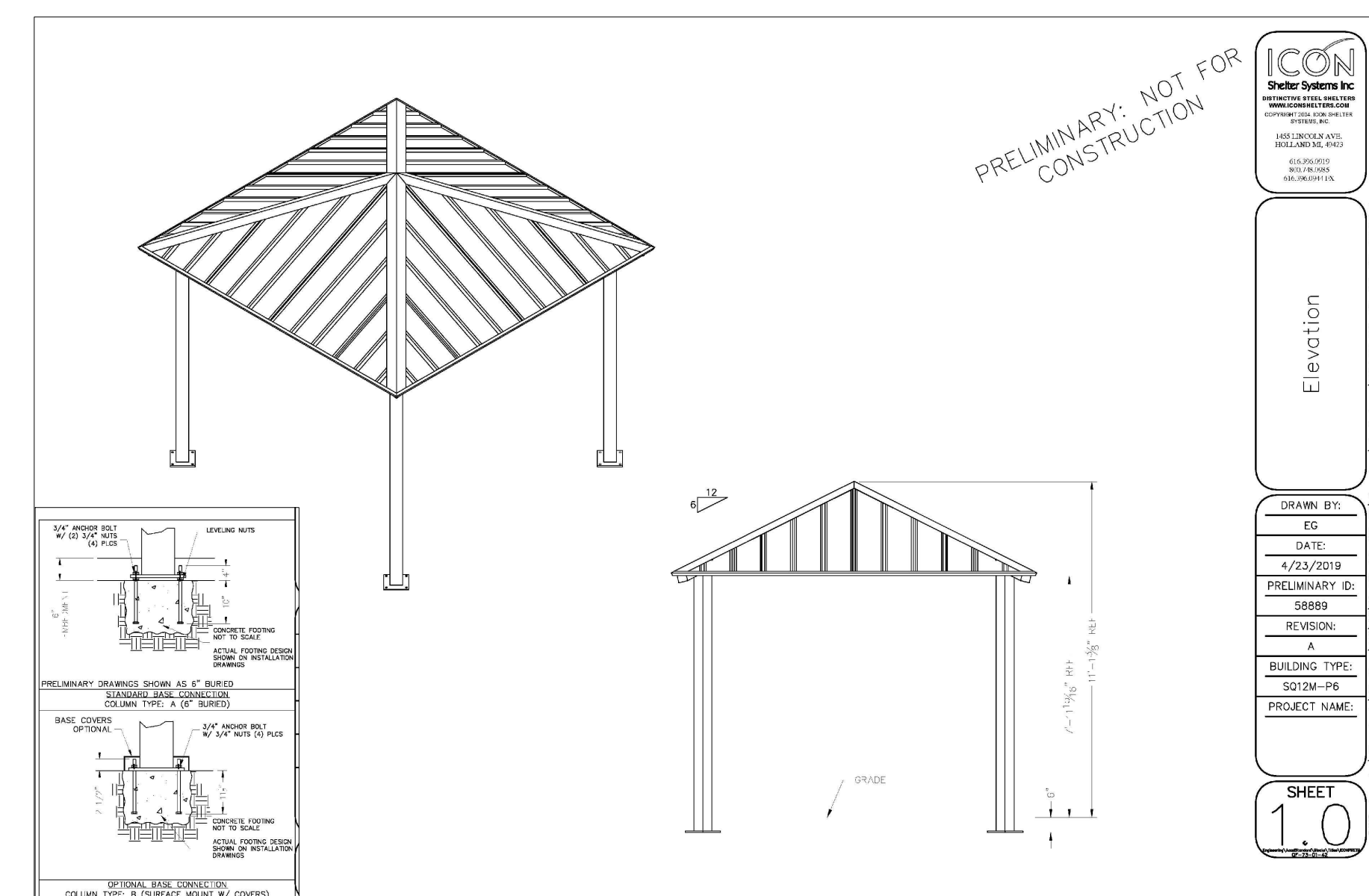
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- Trex Select 1"x6" Composite Deck board siding on the north and east sides to be installed using 2x2 framing in corners and vertical board in center.
- Snow stops on roof to be installed as shown.



SMOKING AREA TYP. DETAIL



ICON
Shaeffer Systems Inc.
1228 GORHAM STREET, UNIT 28, NEWMARKET, ONTARIO, L3Y8Z1
(905) 895-6414 Fax: (905) 8555837

PRELIMINARY: NOT FOR CONSTRUCTION

Elevation

DRAWN BY: EG
DATE: 4/23/2019
REVISION: A
PROJECT NAME: 5072W-P6
BUILDING TYPE: 5072W-P6

SHEET 1.0

Features:
Built using 100% Cedar Lumber
Aluminum roof provides shade and protection from the elements
Finished in a natural cedar stain and neutral coffee brown roof
Base Dimensions: 9' 2" L x 9' 2" W
Overall Dimensions: 9' 11" L x 9' 11" W x 9' 4" H.

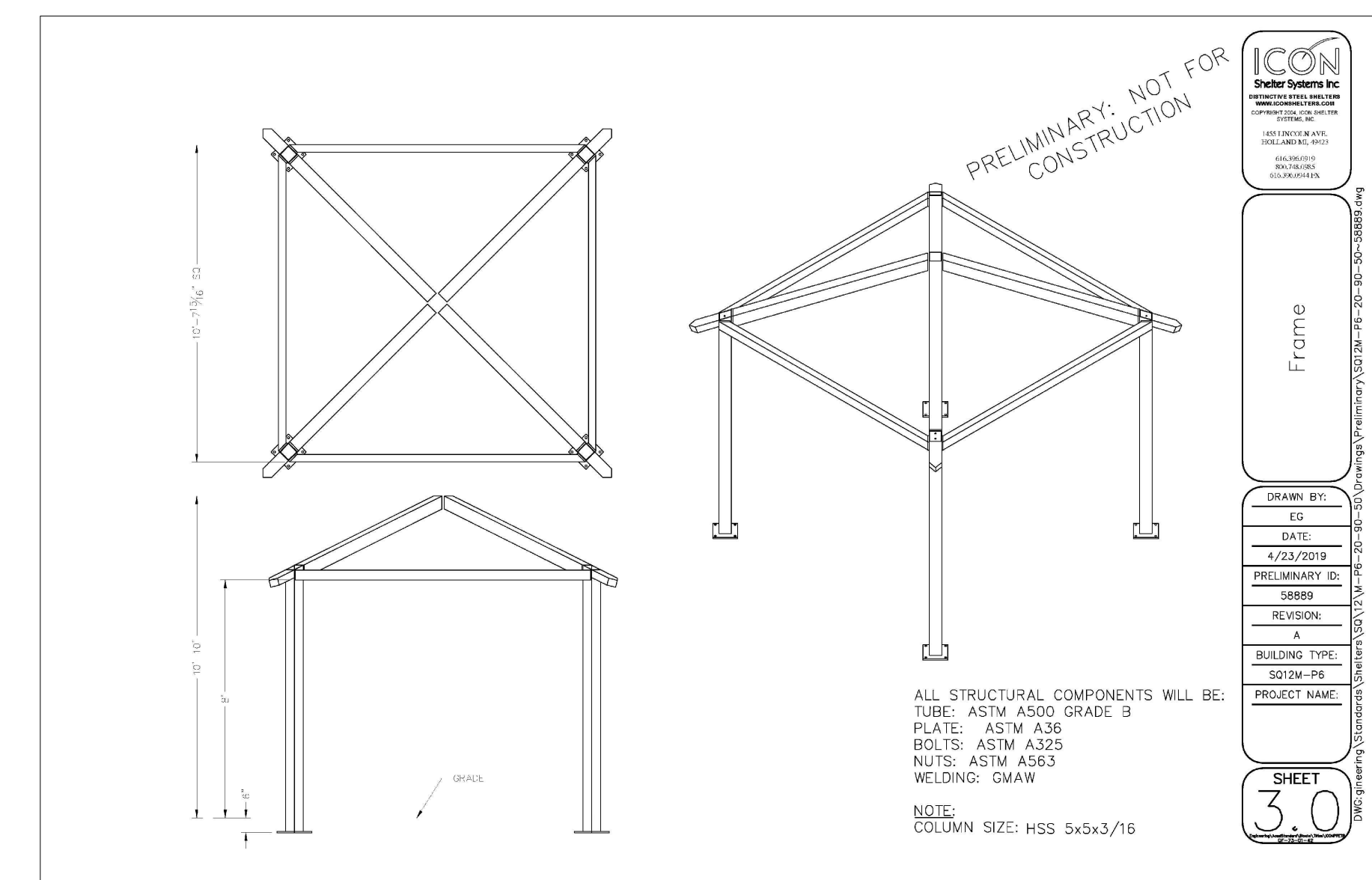


SMOKERS POLE ASHTRAY BY ULINE OR SIMILAR.
3333 JAMES SNOW PKWY NORTH MILTON, ON L9T 8L1

10' x 10' Smoking shelter typ. detail

Structural drawings to be provided at the time of construction

NOTE:
GAZEBOS AND SMOKERS POLE ARE TO BE SUPPLIED AND INSTALLED BY OWNER. CONCRETE PAD TO BE PROVIDED.



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(905) 895-6414 Fax: (905) 8555837

PRELIMINARY: NOT FOR CONSTRUCTION

Frame

DRAWN BY: EG
DATE: 4/23/2019
REVISION: A
PROJECT NAME: 5072W-P6
BUILDING TYPE: 5072W-P6

SHEET 3.0

ALL STRUCTURAL COMPONENTS WILL BE:
TUBE: ASTM A500 GRADE B
PLATE: ASTM A36
BOLTS: ASTM A325
NUTS: ASTM A563
WELDING: GMAW
NOTE:
COLUMN SIZE: HSS 5x5x3/16

Icon Gazebo TYP. DETAIL

Structural drawings to be provided at the time of construction

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Arborists
274 BURLTON AVE., SUITE 1201
BARRIE, ONTARIO L4N 5W4
Fax: 705-722-5660
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SIMCOE COUNTY AFFORDABLE HOUSING
BWG 151 SIMCOE RD.
BRADFORD WEST GWILLIMBURY, ON

GAZEBO AND SMOKING SHELTER DETAILS

SCALE:	DATE:	DESIGNED BY:	REVIEWED BY:
AS SHOWN		SJT	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	
	33-21	SJT	LP-6

NOTE:
SITE FURNITURE (COMMUNITY GARDEN PLANTERS, PERENNIAL PLANTERS, TABLE & CHAIRS, TRASH RECEPTACLE & BARBEQUES) TO BE PROVIDED BY THE OWNER

PERENNIAL PLANTER 'B'
840mm HT. REFER TO
DETAIL ON THIS PAGE

La
4

COMMUNITY GARDEN
PLANTER. REFER TO
DETAIL ON THIS PAGE.

PERENNIAL PLANTER 'A'
560mm HT. REFER TO
DETAIL ON THIS PAGE



PERENNIAL PLANTER 'B' 840mm HT.
REFER TO DETAIL ON THIS PAGE

SCALE 1 : 50

THIRD FLOOR TERRACE PLAN

CODE	QNTY	COMMON NAME	BOTANICAL NAME	SIZE	FORM	SPACING	DETAIL	NOTES
DECIDUOUS SHRUBS								
Hyd	1	TWIST & SHOUT HYDRANGEA	Hydrangea macrophylla Twist & Shout	3 gal	pot	As shown		Full form / Container grown
PERENNIALS								
La	8	HIDCOTE BLUE ENGLISH LAVENDER	Lavandula angustifolia 'Hidcote Blue'	1 gal	pot	0.45 m o/c		Full form / Container grown
Sed	12	BIRTHDAY PARTY STONECROP	Sedum x 'Birthday Party'	2 gal	pot	0.30 m o/c		Full form / Container grown

PLANT LIST REFER TO PLANTING NOTES AND DETAILS ON LP-3

LEGEND

- PERENNIAL PLANTINGS
- DECIDUOUS SHRUB
- DINING SEATING, TO BE PROVIDED BY OWNER
- BBQ, TO BE PROVIDED BY OWNER
- MOVABLE COMMUNITY GARDEN PLANTERS, REFER TO DETAIL ON THIS PAGE
- PERENNIAL PLANTERS, REFER TO DETAILS ON THIS PAGE
- TRASH RECEPTACLE, REFER TO DETAIL ON THIS PAGE

Courtyard Trash Can - 32 Gallon



Elegant trash can for patios, gardens or walkways. Recommended for hotels and shopping centers.

- Glossy, premium powder-coated finish is weather resistant and long lasting.
- Durable, heavy-duty steel bar construction.
- Reusable rigid plastic liner. Easy to empty and clean.
- Flat metal lid with 13" opening.
- Coordinating Courtyard Furniture available.
- Recommended trash liners: Use S-5105 or S-2053.

TRASH RECEPTACLE- ULINE.ca, MODEL H-3022

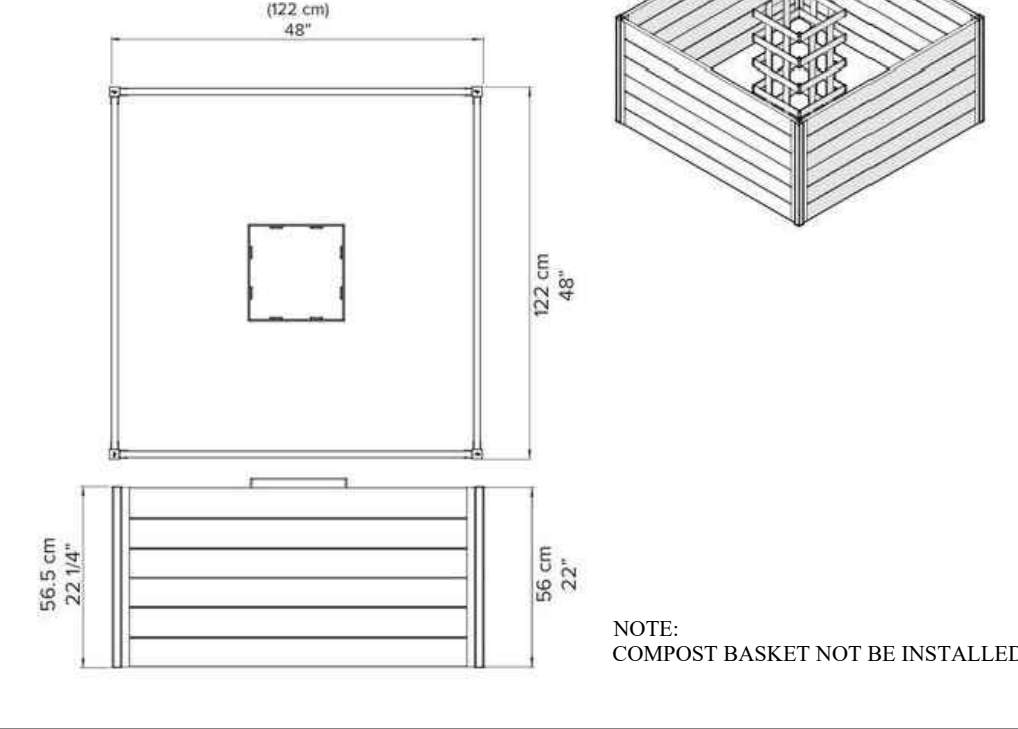


COMMUNITY GARDEN PLANTER- VEGTRUG, MODEL VTNMD0367



VT17501

PROVIDED BY VITA, 1-800-282-9346 OR APPROVED SUBSTITUTE

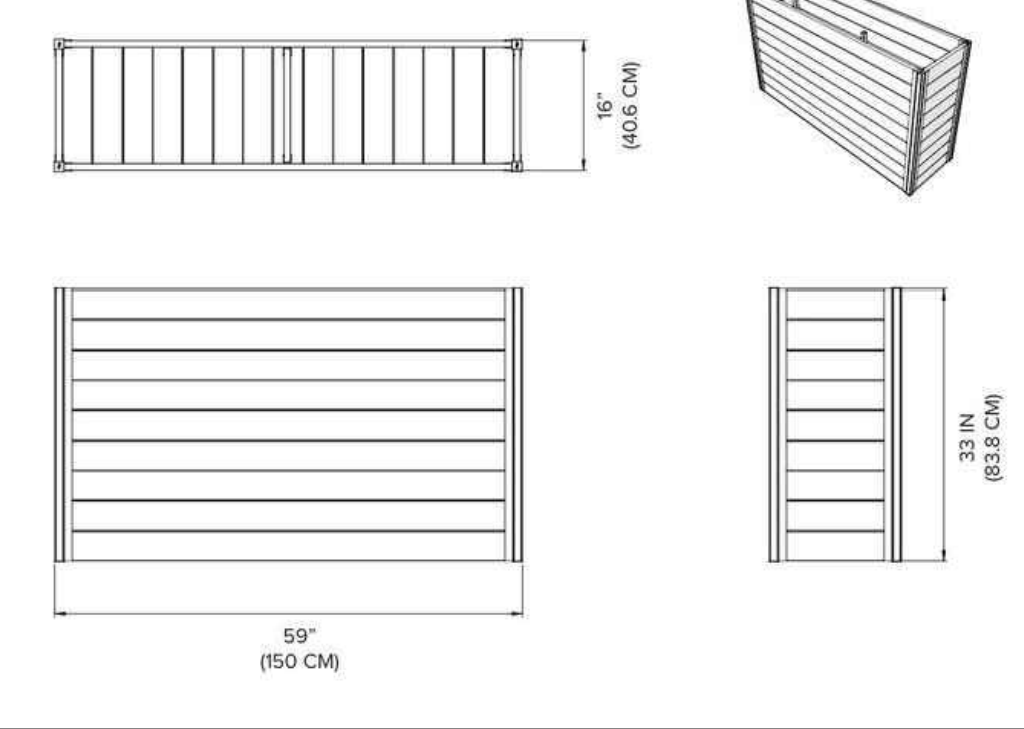


PERENNIAL PLANTER 'A'- VITA, MODEL VT17501



VT17513

PROVIDED BY VITA, 1-800-282-9346 OR APPROVED SUBSTITUTE

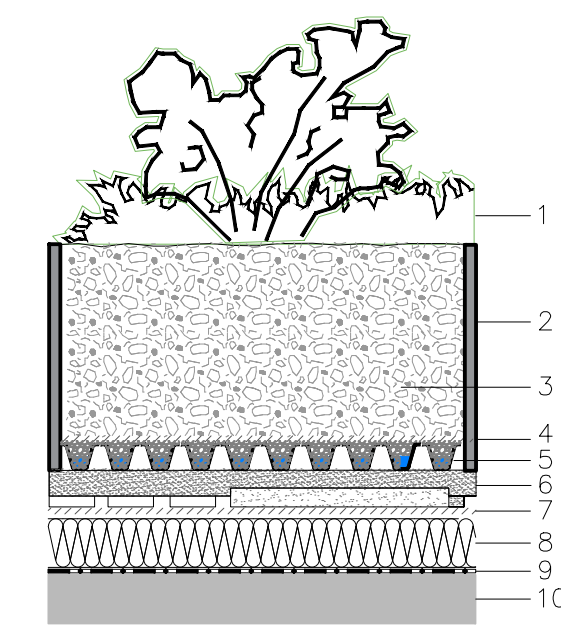


PERENNIAL PLANTER 'B'- VITA, MODEL VT17513

ZINCO FLORADRAIN FD 40-E, INFILLED WITH CRUSHED AGGREGATE, WITH FILTER SHEET SF ON TOP TO BE LAID INSIDE OF PERENNIAL PLANTERS BEFORE ADDING SOIL. REFER TO THE DETAIL ON THIS PAGE.

NOTE: ITEMS SPECIFIED ARE TO BE SUPPLIED BY ZINCO CANADA AND INSTALLED AS PER MANUFACTURERS SPECIFICATIONS OR APPROVED EQUAL.

ZINCO CANADA: 905-690-1661



- Plant material: Perennials
- Perennial planter, refer to detail above
- Growing medium ZinCo Blend-1
- Filter sheet ZinCo SF
- Drain and water storage element ZinCo Floradrain FD 40-E,
- Rubber paving tile with holes. Refer to detail on this page
- Diffusion membrane Zinco TGV 21
- XPS rigid insulation
- Root barrier Zinco WSF 40
- Roof construction with waterproofing membrane

DuraSTRONG Series
2.00" (31.75mm)

sofSURFACES
RUBBER TILE SOLUTIONS

4383 DISCOVERY LINE
PETERIA, ONTARIO
M9H 3B0
PHONE: (905) 283-2363
PHONE: (519) 882-8799
FAX: (519) 882-2457
EMAIL: info@sofsurfaces.com

REV	DESCRIPTION	DATE
0	ORIGINAL ISSUE	8/17/16

FILE NAME: DuraSTRONG 2.00" PREPARED BY: B. GOSS

SIZE: A SCALE: N/A DWG NO.: 2017-001 REV: 0

RUBBER TILES UNDER PERENNIAL PLANTERS SHALL HAVE HOLES DRILLED THROUGH FOR PLANTER DRAINAGE.

HOLES TO BE DRILLED ENTIRELY THROUGH THE TILE IN A 50X50mm GRID PATTERN

REFER TO EXAMPLE GRAPHIC.
AMENITY PAVING TILES DETAIL



KEY MAP N.T.S.

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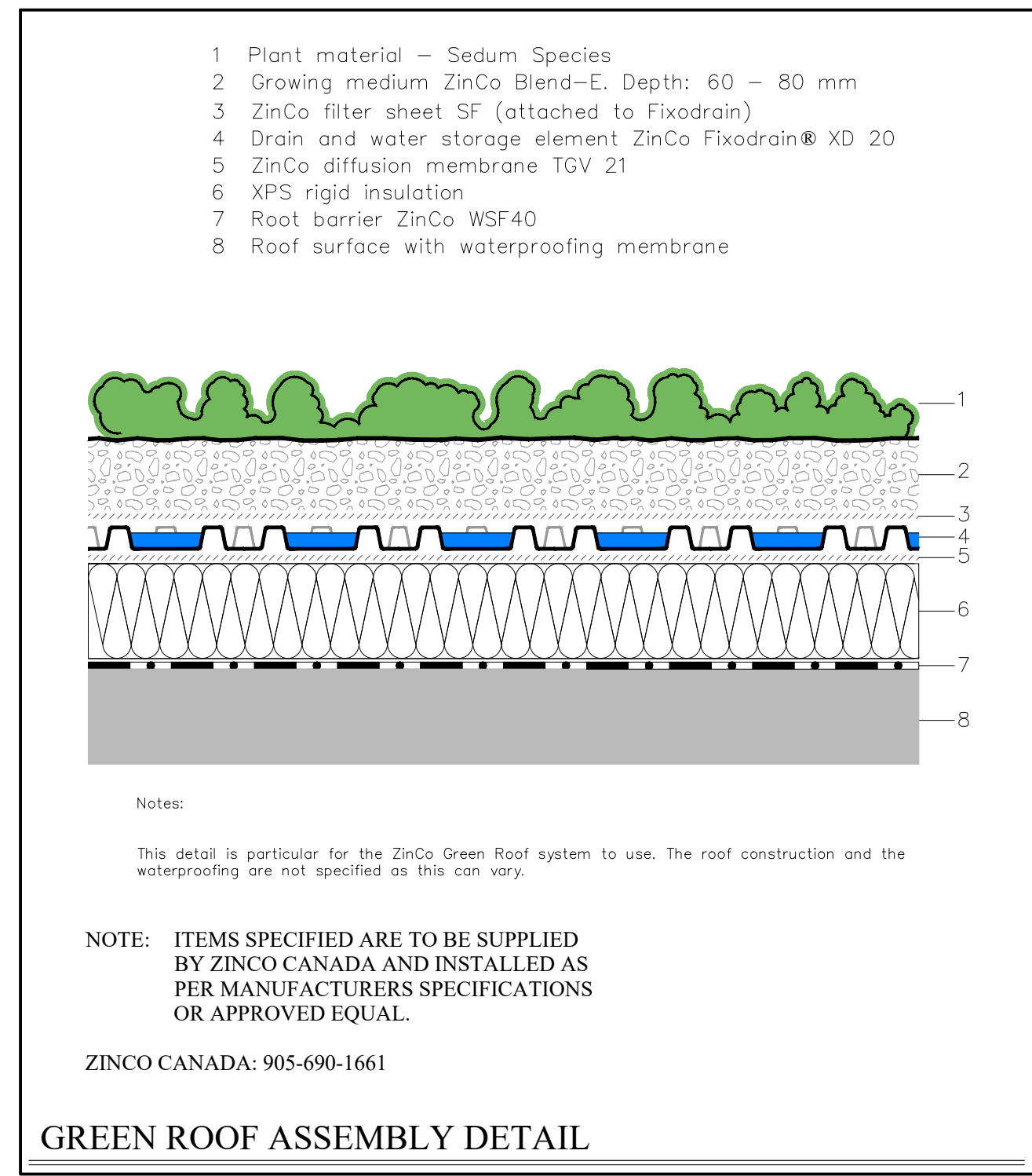
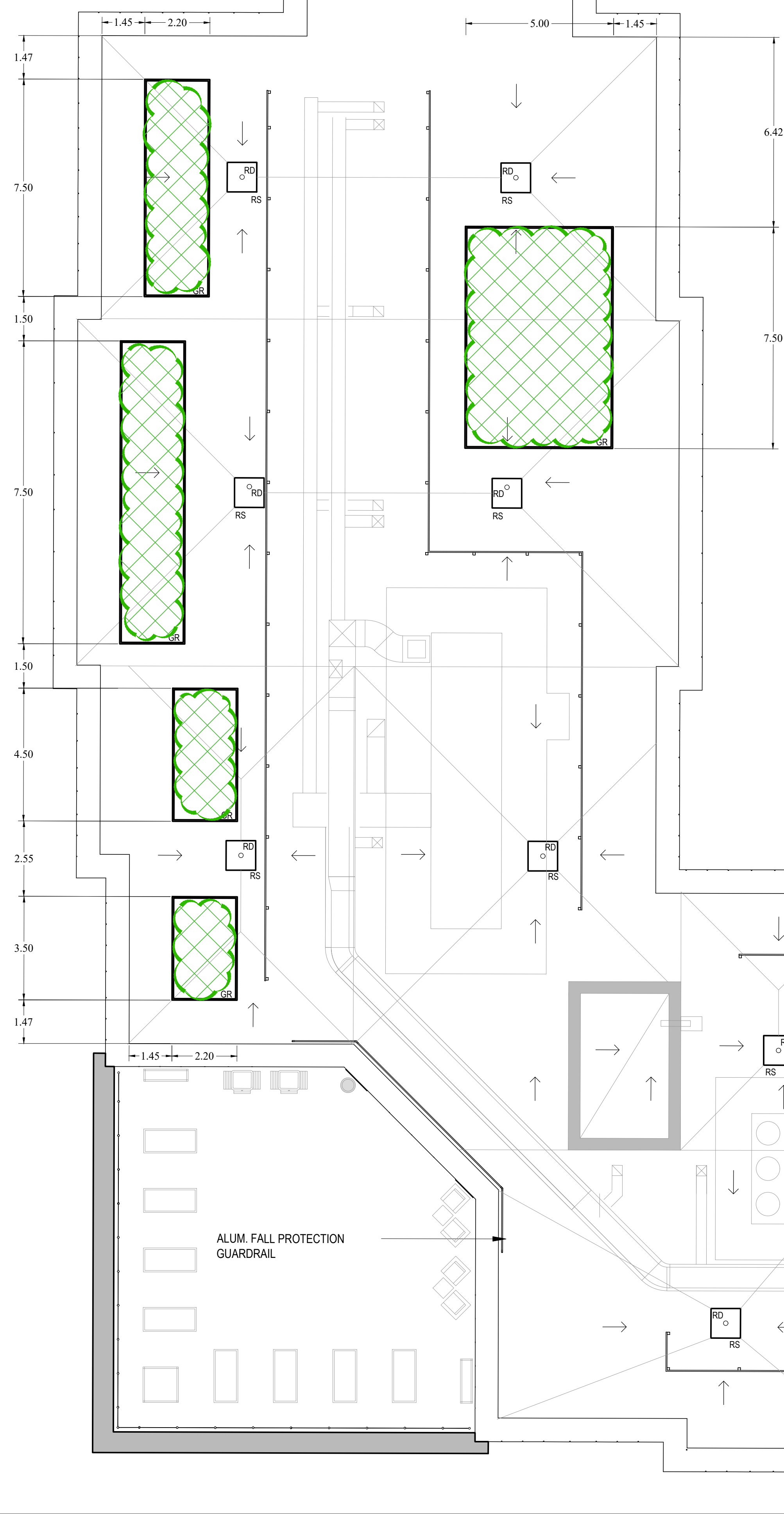
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BWG 151 SIMCOE RD.
BRADFORD WEST GWILLIMBURY, ON

THIRD FLOOR AMENITY ROOFTOP PLAN

SCALE:	DATE:	DESIGNED BY:	REVIEWED BY:
1:50		SJT	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	
	33-21	SJT	LP-7

CODE	QNTY	COMMON NAME	BOTANICAL NAME	SIZE	FORM	SPACING	DETAIL	NOTES
GROUND COVER								
Sed	88 m ²	STONECROP VEGETATION	Sedum (Mixed species)	1 gal	plugs	20/m ²	n/a	Full form / Container grown

PLANT LIST
REFER TO PLANTING NOTES AND DETAILS ON LP-3



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FOURTH FLOOR GREENROOF PLAN

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1:100		SJT	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	
	33-21	SJT	LP-8

FOURTH FLOOR GREENROOF PLAN