

KEY MAP

N.T.S.

GENERAL NOTES

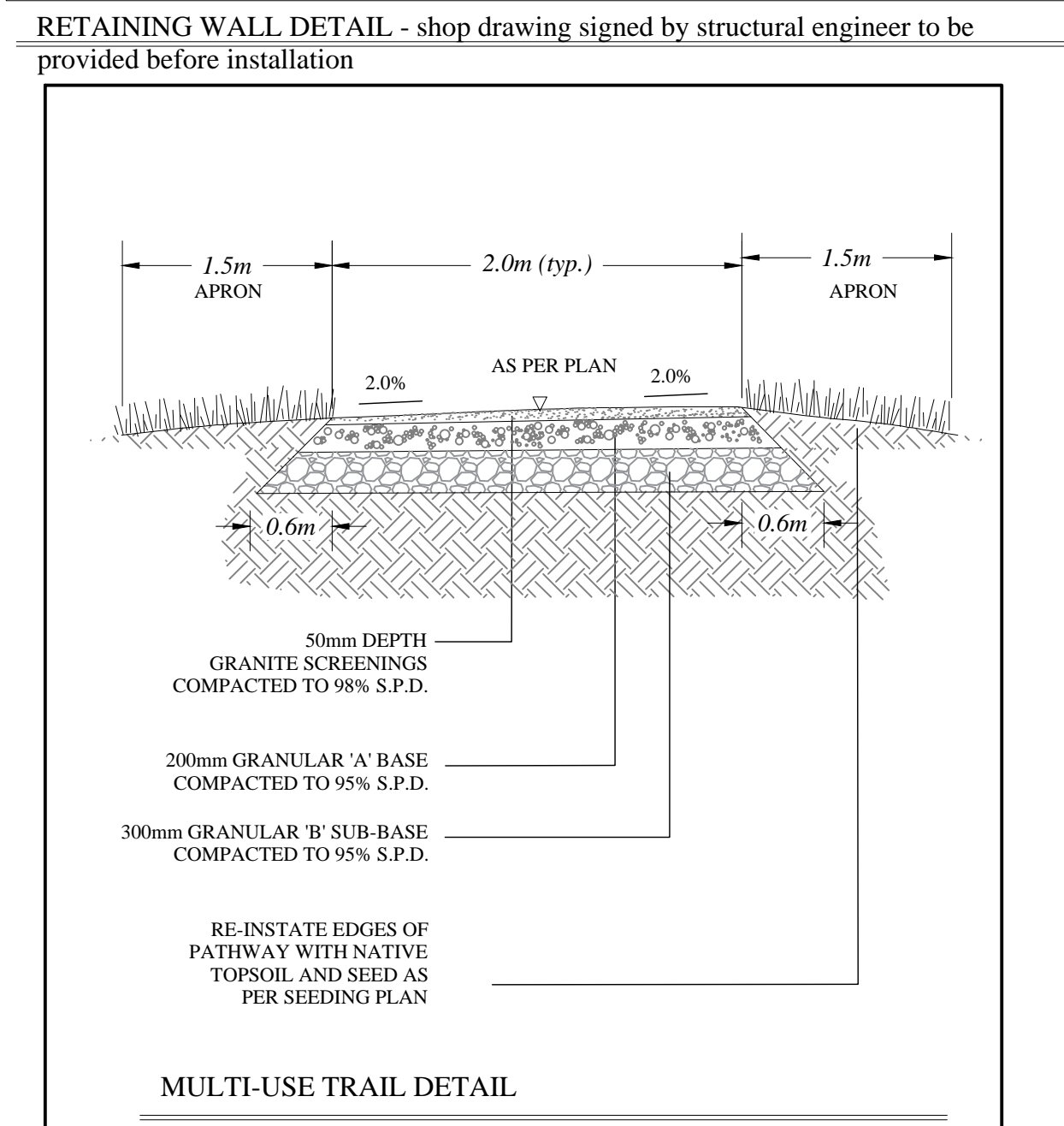
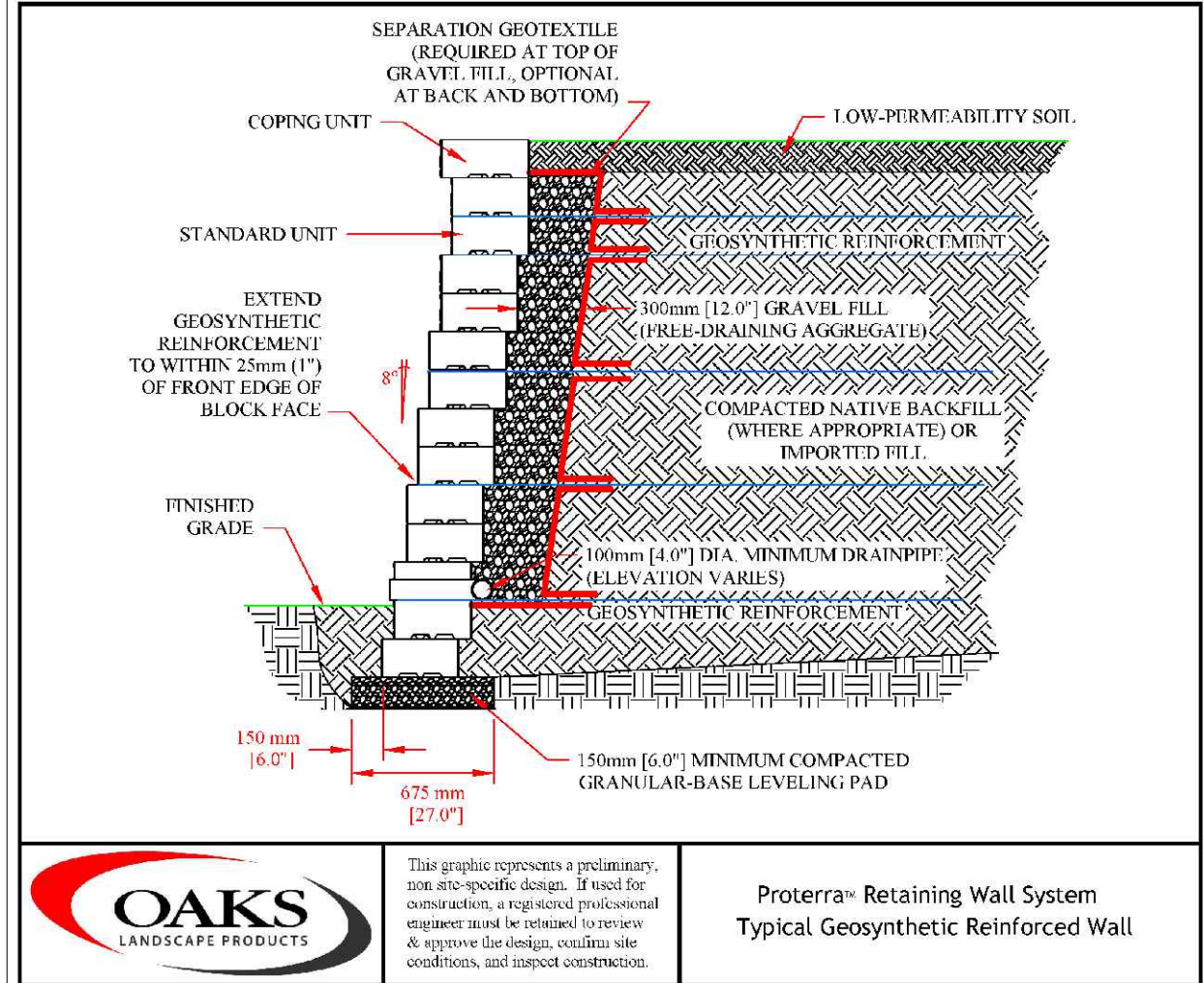
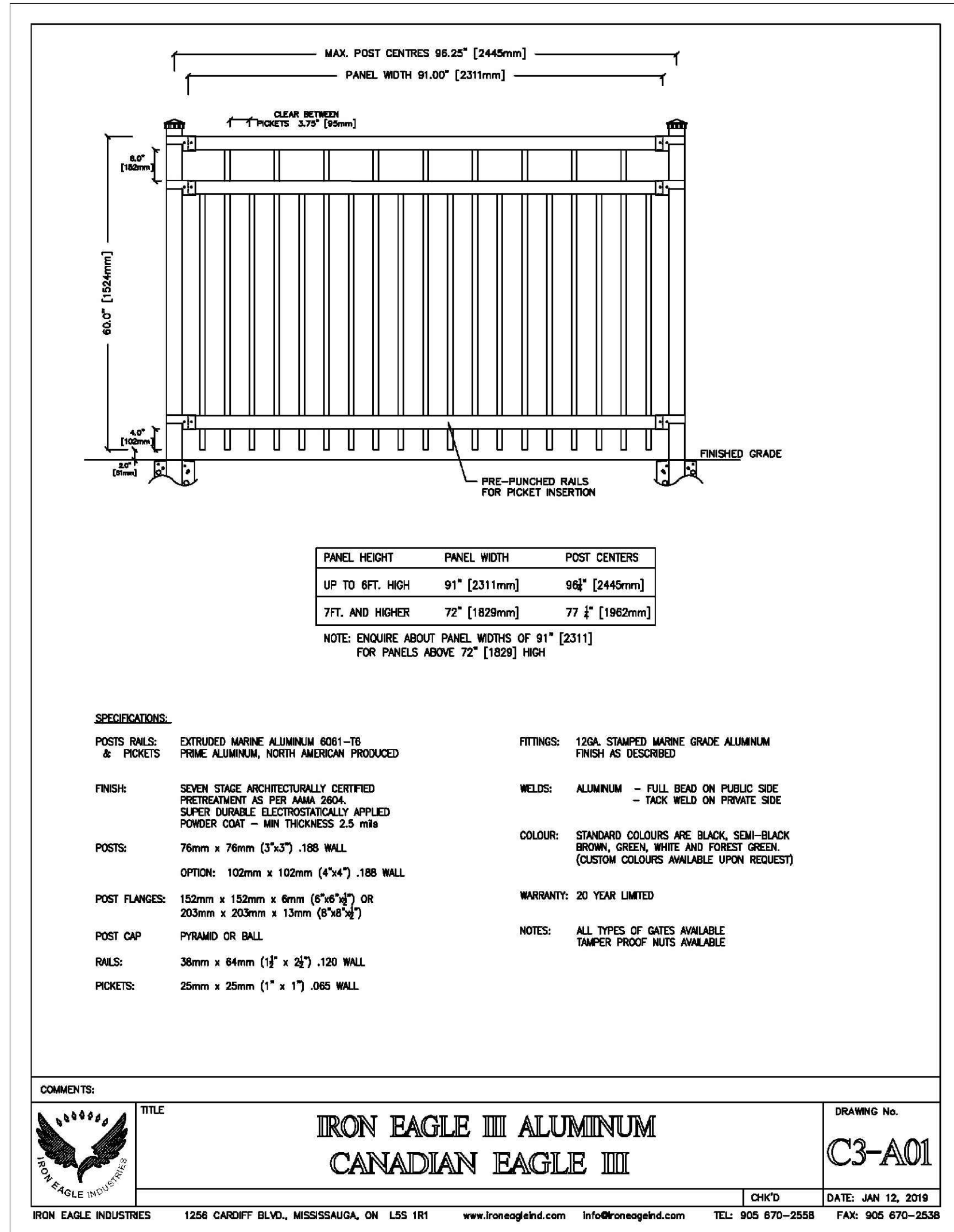
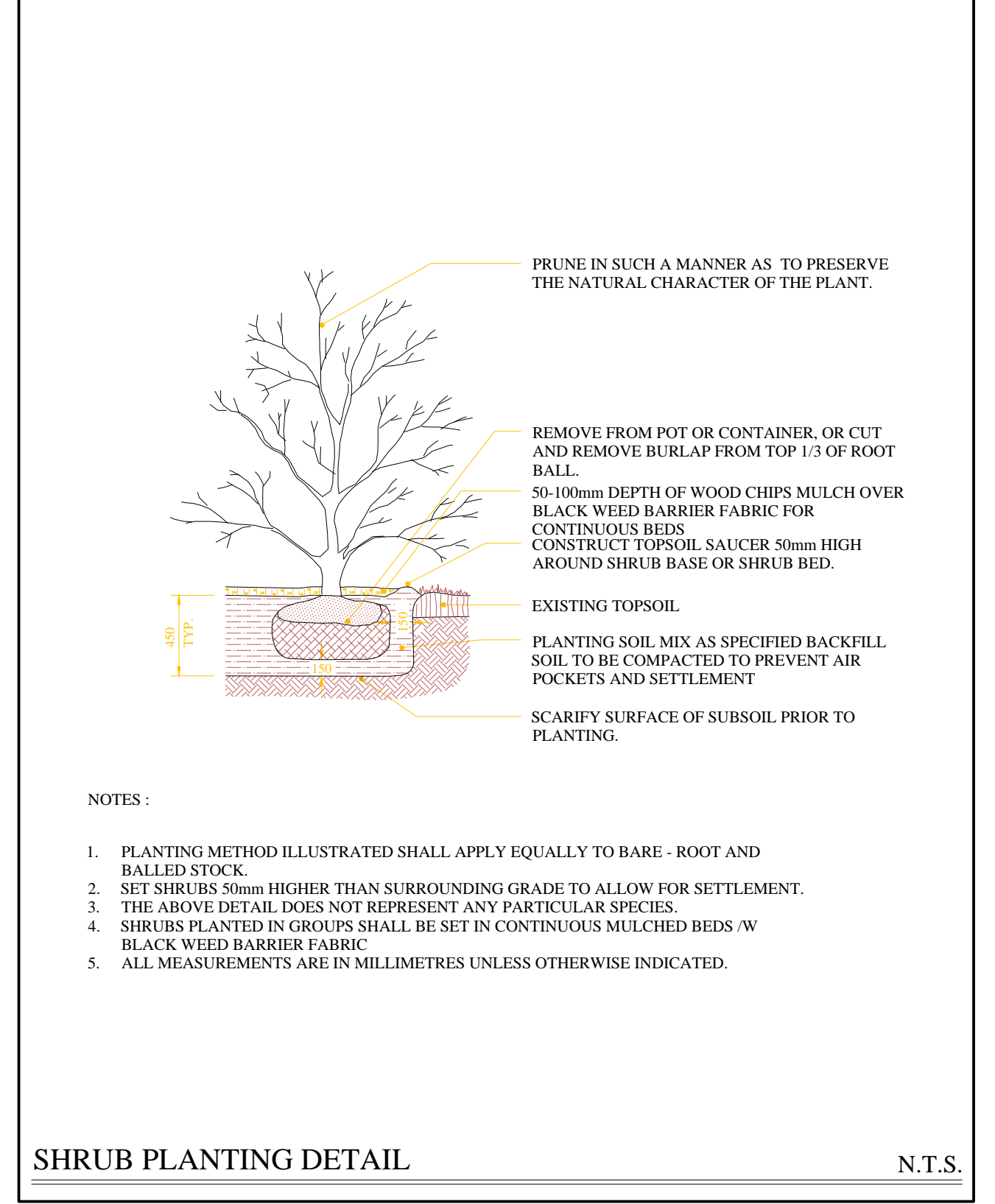
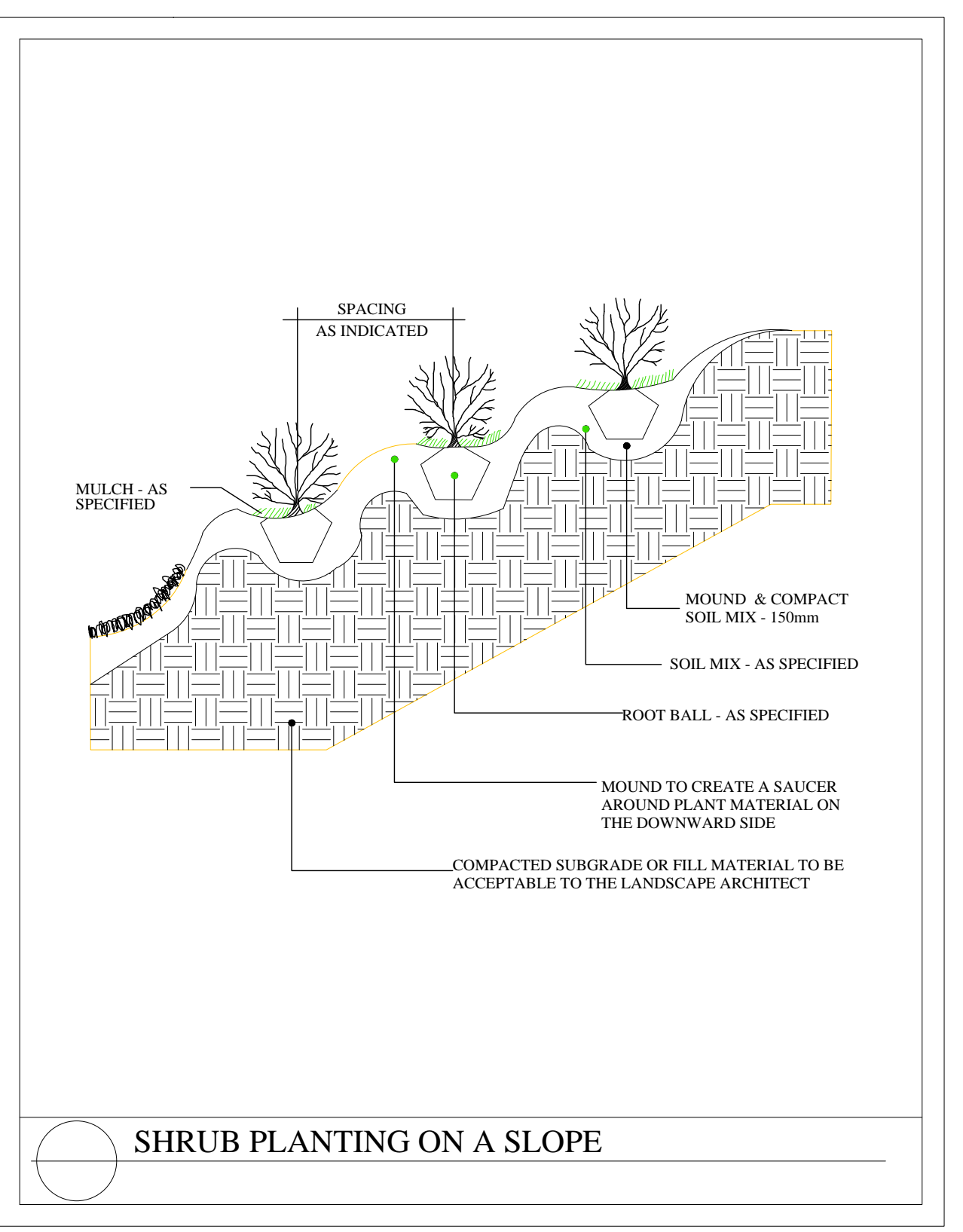
CONTRACTOR IS RESPONSIBLE FOR ALL LOCATES INCLUDING ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION OR INSTALLATIONS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.

ANY ACCOMPANYING DOCUMENTATION RELATING TO THE LANDSCAPE PLAN AND/OR PRESERVATION PLAN SUCH AS TENDER DOCUMENTS AND CHANGE NOTICES ARE TO BE ENDORSED BY JDB ASSOCIATES LIMITED PRIOR TO THE BEGINNING OF ANY SITE WORKS. IN THE EVENT THAT OF A DISCREPANCY THE DRAWING SHALL BE ASSUMED CORRECT.

IT IS THE RESPONSIBILITY OF THE PERSON OR PERSONS RESPONSIBLE FOR THE CONSTRUCTED WORKS TO NOTIFY THE LANDSCAPE ARCHITECT WHEN PREPARED FOR ANY REQUIRED INSPECTIONS AND SIGN OFFS.

SCHEDULED MEETINGS SHALL TAKE PLACE AT THE CLOSEST MUTUALLY CONVENIENT TIME.

No.	REVISION	DATE	APRVD.
1.	CLIENT REVIEW	December 2, 2021	ST
2.	SUBMISSION FOR SPA	December 15, 2021	ST



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IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES OR VARIATIONS FROM THE SUPPLIED INFORMATION TO THE LANDSCAPE ARCHITECT WITH THE PROJECT. JDB ASSOCIATES LIMITED IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, ARCHITECTURAL, MECHANICAL, ENGINEERING OR ELECTRICAL INFORMATION SHOWN ON THE DRAWING. FOR FURTHER INFORMATION REFER TO APPROPRIATE SURVEY, ARCHITECTURAL, MECHANICAL, ENGINEERING OR ELECTRICAL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORKS.

THIS DRAWING IS NOT TO BE SCALED.

LLOYD & PURCELL
A Division of Schaefer Dzakoff Bennett LTD.
ONTARIO LAND SURVEYORS

1228 GORHAM STREET, UNIT 28,
NEW MARKET, ONTARIO, L3Y8Z1
(905) 895-6414 Fax (905) 853887

BASE PLAN REVISED: March 5, 2021

LANDSCAPE ARCHITECTS STAMP
JDB ASSOCIATES LTD.

ACCEPTED BY: _____

DATE: _____

JDB ASSOCIATES LTD.

Urban Designers
Landscape Architects
Arborsiters

274 Burton Ave., Suite 1201
Barrie, Ontario
L4V 5W4

Fax: 705-722-5660
Tel: 705-722-6278

SIMCOE COUNTY AFFORDABLE HOUSING

BWG 125 SIMCOE RD.
BRADFORD WEST GWILLIMBURY, ON

LANDSCAPING DETAILS

SCALE:	DATE:	DESIGNED BY:	REVIEWED BY:
N.T.S.	September 2021	ST	NB
CITY FILE No.	OUR FILE REF. #	DRAWN BY:	
	33-21	ST	LP-4